

WASHINGTON HISTORIC PRESERVATION COMMISSION

Regular Scheduled Meeting - Agenda

Tuesday August 5, 2014

7:00 PM

I. Opening of the meeting

II. Invocation

III. Roll call

IV. Old Business

V. Major Works, Certificate of Appropriateness

Major Works

1. A request has been made by the owner at 523 East Second Street to install a four foot wooden picket fence.
2. A request has been made by the owner at 149 North Market Street to replace transom windows with new aluminum windows.
3. A request has been made by the owner of Moss Landing to begin construction on the house located at Lot #19 in the Moss Landing subdivision.
4. A request has been made by the owner of Moss Landing to begin construction on the house located at Lot #20 in the Moss Landing subdivision.
5. A request has been made by the owner at 423 East Second Street to install a wooden hand railing on the front porch steps.
6. A request has been made by the owner at 755 West Second Street to install a hand rail on the front steps of the porch.
7. A request has been made by the owner at 324 East Second Street to install a fence at the rear and side of the property.
8. A request has been made by the owner at 239 East Third Street to enclose the rear of the building to extend the kitchen and construct a new screen porch and deck. Also, replace all windows with new vinyl windows.

Minor Works

1. A request has been made by the owner at 325 North Market Street to replace the air conditioning unit and coil condenser.
2. A request has been made by the owner at 120 West Main Street to replace gas pack and remove hanging heater.
3. A request has been made by the owner at 603 W. Main Street to change out split system.
4. A request has been made by the owner at 218 Fleming Street to replace split air conditioning unit.
5. A request has been made by the Tourism office to install new signage at the train depot.

VII. Other Business

1. Discussion of new design guidelines

VII. Approval of Minutes – July 1, 2014

VIII. Adjourn

MAJOR WORKS

James Harstad and Dawn Dickinson

523 East 2nd Street

**Install Four Foot Picket Fence Across Front
Yard**

A.4.2

CITY OF WASHINGTON
HISTORIC PRESERVATION COMMISSION
APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Date June 5, 2014

Fee _____

A. A: Information on Structure Under ConsiderationAddress: 523 E 2nd Street, Washington NC 27889Current Owner: James Harstad and Dawn DickinsonTax Parcel Number: 5685-07-8036

This document does not constitute the issuance of a Building Permit. It is the responsibility of the applicant to obtain all necessary permits before commencing work. Contact the Inspections Dept. at 975-9383. Has a Building Permit been obtained? YES _____ NO _____ N/A _____.

B. B: Information on Person Making ApplicationName: James HarstadAddress: 523 E 2nd Street, NC 27889City: Washington State: NC Zip: 27889 Phone: 919-200-2119**C. C: Proposed Changes to Structure**

I (We) respectfully request a Certificate of Appropriateness be issued in accordance with the City of Washington Zoning Ordinance for the following reason: (details of the proposed project)

Four foot wooden picket fence painted white starting from the end of the
existing chain link fence to the right of house continuing to the side walk
then continuing along side walk (within property) until even with left front
corner, then connecting with left front corner. Please see attached drawing

D. D: I (We) understand approved requests are valid for one year.

Note: Applicants, and/or their agents or parties of interest are prohibited from any contact in relation to this matter with Historic Preservation Commission members prior to the public hearing.

FOR OFFICE USE ONLY:**ACTION****DATE**

Respectfully Submitted,
James A Harstad

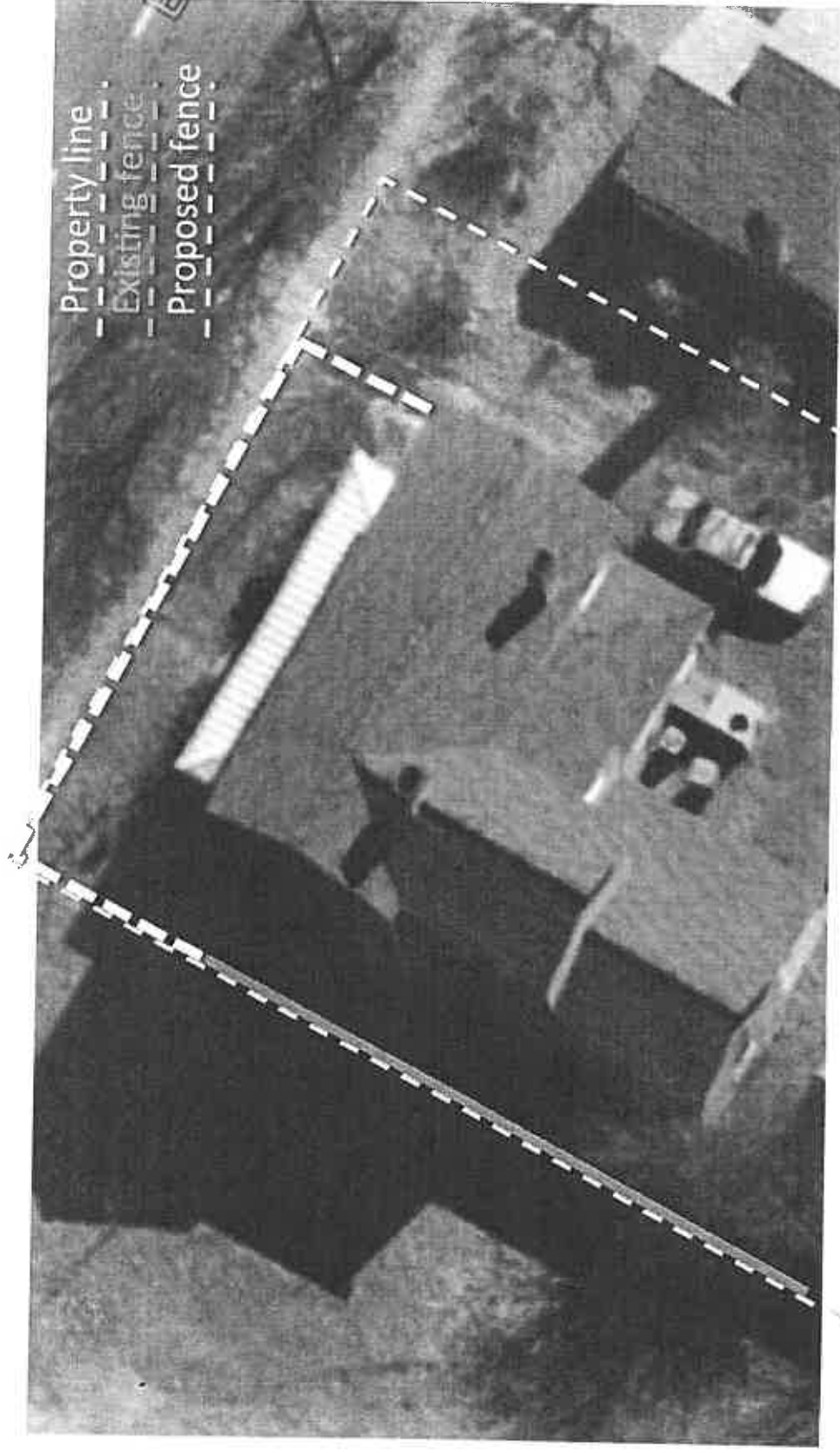
Approved
Approved with
Conditions

Denied
Withdrawn
Staff Approval

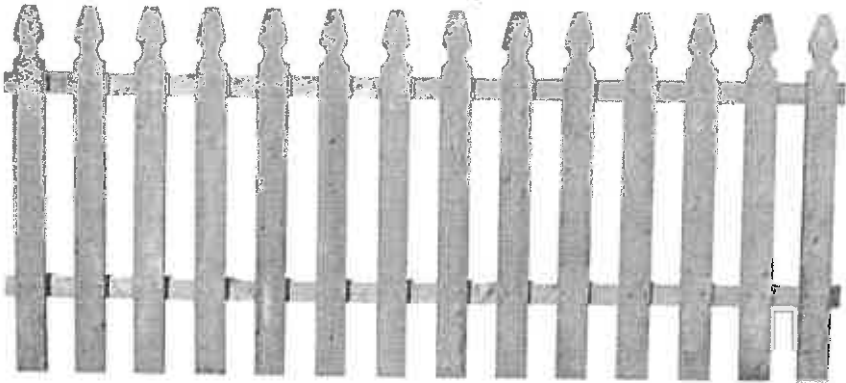


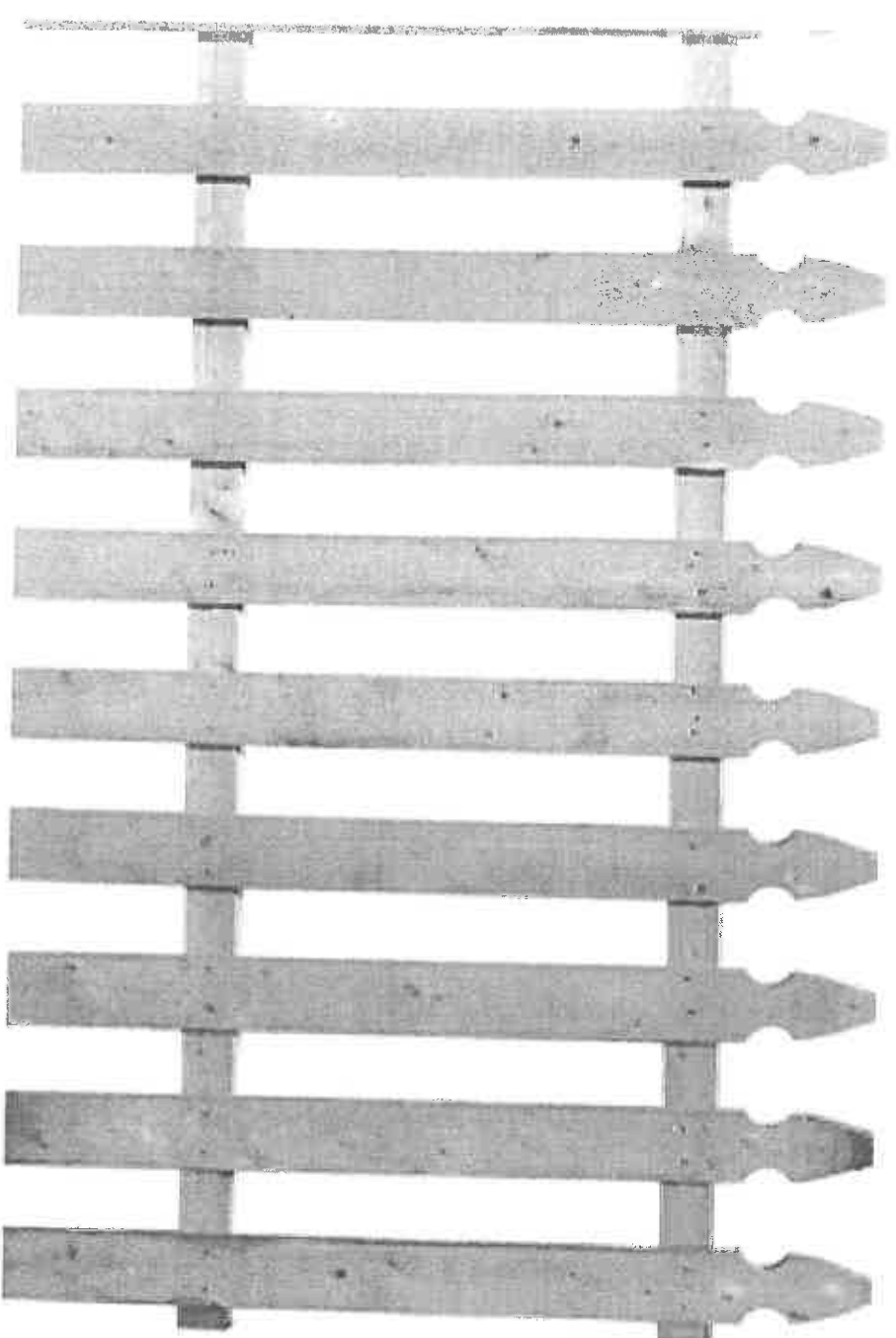
Signature

523 E 2nd St – proposed 4' wooden picket fence



**Pine Gothic Pressure Treated
Wood Fence Panel (Common:
4-ft x 8-ft; Actual: 3.5-ft x 8-ft)**





Pine Gothic
Wood Fence
4-ft x 8-ft; Ac



ADDRESS: 523 E. 2nd Street

TAX PARCEL NUMBER: 5685-07-8036

CONTRIBUTING: Yes

CONTRIBUTING NUMBER: 329

NON-CONTRIBUTING NUMBER:

CURRENT OWNER: Thomas Colley

FLOOD ZONE: Yes

SQUARE FOOTAGE OF STRUCTURE: 1985

WINDOW STYLE: upstairs: 6/6 downstairs: same

DOOR STYLE:

ROOF MATERIAL: Tin

DESCRIPTION: 2 story late 19th, early 20th century frame house. Diagonal sheathing under porch, chamfered porch posts, molded corner posts, entrance with sidelights and transom.

OTHER FEATURES: (i.e. fences, accessory building, etc.):





REQUEST FOR COMMISSION ACTION

To: Historic Preservation Commission

From: Jennifer Brennan, Planning & Development

Re: The owner of 523 East Second Street has submitted a request to install a picket fence at the front of the property.

A request has been made by James Harstad and Dawn Dickson to install a picket fence at the front of the property located at 523 East Second Street. To grant such a request, the Historic Preservation Commission must make findings of fact, which are included in the sample motions below. Any conditions the Commission feels appropriate may be attached to the motion.

Possible Actions

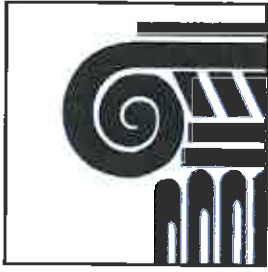
I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Mr. Harstad and Ms. Dickson to install a four foot high picket fence on the property located at 523 East Second Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 4.6 Streetscape and Design – Fences and Walls**.

Or

I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Mr. Harstad and Ms. Dickson to install a four foot high picket fence on the property located at 523 East Second Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 4.6 Streetscape and Design – Fences and Walls**. I further move that the Historic Preservation Commission **place the following conditions** on the approval:

Or

I move that the Historic Preservation Commission **deny a Certificate of Appropriateness** to Mr. Harstad and Ms. Dickson to install a four foot high picket fence on the property located at 523 East Second Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 4.6 Streetscape and Design – Fences and Walls**.



CITY OF WASHINGTON

DOWNTOWN DEVELOPMENT □ HISTORIC PRESERVATION

Subject: Certificate of Appropriateness – 523 East Second Street

Dear Adjoining Property Owner,

Whenever exterior renovation work is being conducted in the Washington Historic District all property owners within 100 feet of the proposed construction activities are required to be notified by the City of Washington. According to the application submitted by the City of Washington, your property is located within 100 feet of the above referenced property.

A request has been made by the owner of 523 East Second Street to install a four foot wooden picket fence at the front of the house.

If you would like to see plans for this work, please visit the City Planning Office prior to the meeting. Additionally, the full application is available on the city website.

You are welcomed and encouraged to attend the regularly scheduled meeting of the Washington Historic Commission. Please note the following date, time, and place:

Date: Tuesday August 4, 2014

Place: City Hall - Municipal building, 102 East Second Street. Enter from the Market Street side of the building and go to the second floor.

Time: 7:00 PM

In the meantime, should you have any questions please feel free to contact me.

Sincerely,

Jennifer Brennan
Community Development Planner
252-946-0897
jbrennan@washingtongov.gov

Adjoining Property Owners: 523 East Second Street

- **Jessie Housley**
525 East Second Street
Washington, NC 27889
- **Kevin Duffy**
1512 Briarwood Place
Raleigh, NC 27614
- **Eddie Stone**
513 East Second Street
Washington, NC 27889
- **Kit Yeung**
137 Castle Ct.
Washington, NC 27889
- **James Helms**
528 East Second Street
Washington, NC 27889
- **Mark Keusenkothen**
524 East Second Street
Washington, NC 27889
- **Cache Reed**
518 East Second Street
Washington, NC 27889
- **Fred Read**
411 Walnut Street #7595
Green Cove Springs, FL 32043
- **Robin Potts Trustee**
107 South Reed Drive
Washington, NC 27889
- **Betsy West**
PO Box 1632
New Bern, NC 28563
- **Dangela Willard**
7508 Slatestone Rd.
Washington, NC 27889

Page Welch LLC

149 North Market Street

**Replace existing Windows with New
Aluminum Windows**

Department of Planning and Development

Historic Preservation Design Guidelines

Application for a Certificate of Historic District Appropriateness

Date: 5/27/14 Fee: _____

A: Information on Structure Under Consideration

Address: 149 N. Market St.

Date Purchased: 2006?

Current Owner: Page Welch LLC

Date Constructed: unknown

Original Owner (if known): unknown

This document does not constitute the issuance of a Building Permit. It is the responsibility of the applicant to obtain all necessary permits before commencing work.

Contact Inspections Department: 252-975-9352 / 252-975-9304.

Has a Building Permit been obtained? YES _____ NO X N/A _____

B: Information for Person Making Application

Name: Will Page

Mailing Address: PO Box 1826

City, State ZIP: Washington NC 27889

Phone: 252-946-8159

C: Proposed Changes to Structure

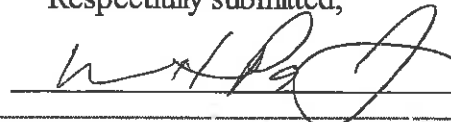
(I) (We) respectfully request a Certificate of Appropriateness by issued in accordance with the City of Washington Zoning Ordinance for the following reasons: On the Market St.

Front, there are windows on the ground level, windows on the 2nd Floor and A row of windows on the mezzanine level. This last set is leaking and rotten and I have a price to replace these with similar looking windows with a metal frame instead of a wood frame. All other features of the building will remain the same

D: (I) (We) understand approved requests are valid for one (1) year.

NOTE: APPLICANTS, AND/OR THEIR AGENTS OR PARTIES OF INTEREST, ARE PROHIBITED FROM ANY CONTACT IN RELATION TO THIS MATTER WITH HISTORIC PRESERVATION COMMISSION MEMBERS PRIOR TO THE PUBLIC HEARING.

Respectfully submitted,



Proceed to: [List of Adjacent Property Owners]

Return to: [Home] [Planning & Development] [Historic Preservation]

[Historic Preservation - Design Guidelines] [Historic Preservation Design Guidelines Introduction]



Serving Eastern North Carolina Since 1972

January 28, 2013

Brooks Home Improvement
Bud Brooks
558 Barwick Drive
Washington, NC 27889

JOB: Market Street -- Page

Complete to install new aluminum window assembly at transom level of storefront using:

Bronze Flush Glaze 1 3/4" x 4 1/2"
1/4" Tinted Glass

Opening: 28' x 3' 6"

Includes Sill Pan

Complete to install in 7 equal panes of glass	<u>\$2590.00</u>
Complete to install in 15 equal panes of glass	\$ 3115.00
Option to Use Greylite II Glass (DARK)	\$ 850.00 add-on

ESTIMATE

DATE: JUNE 2, 2014

NAME: WILL PAGE

IN ACCOUNT WITH
BROOKS HOME IMPROVEMENTS
SANDBLASTING - PRESSURE WASHING
ROOFING - HOME IMPROVEMENTS - PAINTING - HAULING

558 BARWICK DRIVE
WASHINGTON, NC 27889

TELEPHONE (252) 927-3636
CELL (252) 943-7057

WORK TO BE PERFORMED AT 149 N. MARKET ST., WASHINGTON, NC

REMOVE WINDOWS AND REPAIR ROTTEN FRAMES OF TRANSOM ABOVE ENTRANCE DOOR

PAINT AROUND TRANSOM

LABOR & MATERIALS FURNISHED BY CONTRACTOR

TOTAL DUE \$ 3800.00



ADDRESS: 149 N. Market St.

TAX PARCEL NUMBER: 5675-88-7165

CONTRIBUTING: Yes

CONTRIBUTING NUMBER: 209

NON-CONTRIBUTING NUMBER:

CURRENT OWNER: Cecil C Cherry Jr.

FLOOD ZONE: Yes

SQUARE FOOTAGE OF STRUCTURE: 4680

WINDOW STYLE: upstairs: downstairs:

DOOR STYLE:

ROOF MATERIAL:

DESCRIPTION: Laughinghouse Building. 2 story early 20th century brick commercial building with notable features. Built by Tom Latham. Latham was a successful farmer. Ed Long's buggy factory was on this site.

OTHER FEATURES: (i.e. fences, accessory building, etc.): Beverly





REQUEST FOR COMMISSION ACTION

To: Historic Preservation Commission

From: Jennifer Brennan, Planning & Development

Re: The owner of 149 North Market Street has submitted a request to change out mezzanine level windows on the property.

A request has been made by Page Welch, LLC to replace the current windows with new aluminum windows on the mezzanine level of the property located at 149 North Market Street. To grant such a request, the Historic Preservation Commission must make findings of fact, which are included in the sample motions below. Any conditions the Commission feels appropriate may be attached to the motion.

Possible Actions

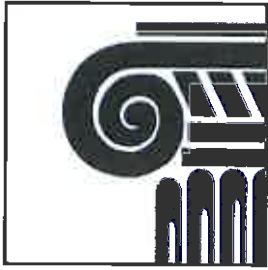
I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Page Welch, LLC to replace current windows with new aluminum windows on the property located at 149 North Market Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 3.4 Existing Buildings – Windows and Doors**.

Or

I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Page Welch, LLC to replace current windows with new aluminum windows on the property located at 149 North Market Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 3.4 Existing Buildings – Windows and Doors**. I further move that the Historic Preservation Commission **place the following conditions** on the approval:

Or

I move that the Historic Preservation Commission **deny a Certificate of Appropriateness** to Page Welch, LLC to replace current windows with new aluminum windows on the property located at 149 North Market Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 3.4 Existing Buildings – Windows and Doors**.



CITY OF WASHINGTON

DOWNTOWN DEVELOPMENT □ HISTORIC PRESERVATION

Subject: Certificate of Appropriateness – 149 North Market Street

Dear Adjoining Property Owner,

Whenever exterior renovation work is being conducted in the Washington Historic District all property owners within 100 feet of the proposed construction activities are required to be notified by the City of Washington. According to the application submitted by the City of Washington, your property is located within 100 feet of the above referenced property.

A request has been made by the owner of 149 North Market Street to replace mezzanine level windows with new aluminum windows.

If you would like to see plans for this work, please visit the City Planning Office prior to the meeting. Additionally, the full application is available on the city website.

You are welcomed and encouraged to attend the regularly scheduled meeting of the Washington Historic Commission. Please note the following date, time, and place:

Date: Tuesday August 5, 2014

Place: City Hall - Municipal building, 102 East Second Street. Enter from the Market Street side of the building and go to the second floor.

Time: 7:00 PM

In the meantime, should you have any questions please feel free to contact me.

Sincerely,

Jennifer Brennan
Community Development Planner
252-946-0897
jbrennan@washingtontnc.gov

Adjoining Property Owners: 149 North Market Street

- Keith Mason
PO Box 1945
Washington, NC 27889
- Stephen Graves
PO Box 430
Washington, NC 27889
- Select Real Estate Holdings
3600 Charles Blvd
Greenville, NC 27858
- Clarence Tetterton
PO Box 324
Washington, NC 27889
- Nancy McLendon
PO Box 1362
Washington, NC 27889
- Jesse Rawls
127 N. Market Street
Washington, NC 27889
- Betty Stewart
121 N. Market Street
Washington, NC 27889

Beacon Street Properties

Moss Landing

Design Approval on Several Houses

**Beacon Street Properties
Moss Landing**

**New Construction – Design Approval
Lot #19 – Single Family Dwelling**

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission

Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please Use Black Ink

Street Address of Property: Water & Harvey Streets - Moss Landing Development - Lot #19

Historic Property/Name (if applicable): N/A

Owner's Name: Beacon Street Development Co. - Jim Wiley

Lot Size: 36' feet by 99' feet. 0.082 acres
(width) (depth)

List all properties within 100 feet; on both sides, in front (across the street), and to the back of the property: (If necessary, attach a separate sheet)

Brief Description of Work to be Done:

Construct new single family two-story dwelling on Lot #19. The home will be consistant with other homes
in the District.

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

Office Use Only	
(Date Received)	(Initials)
ACTION	
<input type="radio"/> Approved	_____
<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

Jim Wiley - Beacon Street Development Co.
(Name of Applicant - type or print)

PO Box 6474 Raleigh, NC 27628
(Mailing Address) (Zip Code)

7/23/14 919-785-1445
(Date) (Daytime Phone Number)

Jim Wiley
(Signature of Applicant)

Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____. Issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.) (Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.

PROJECT CATEGORIES (check all that apply):

- ☐ Exterior Alteration ☐ Addition
☒ New Construction ☐ Demolition

This document does not constitute the issuance of a Building Permit. It is the responsibility of the applicant to obtain all necessary permits before commencing work. Contact the Inspections Department at 252-975-9304.

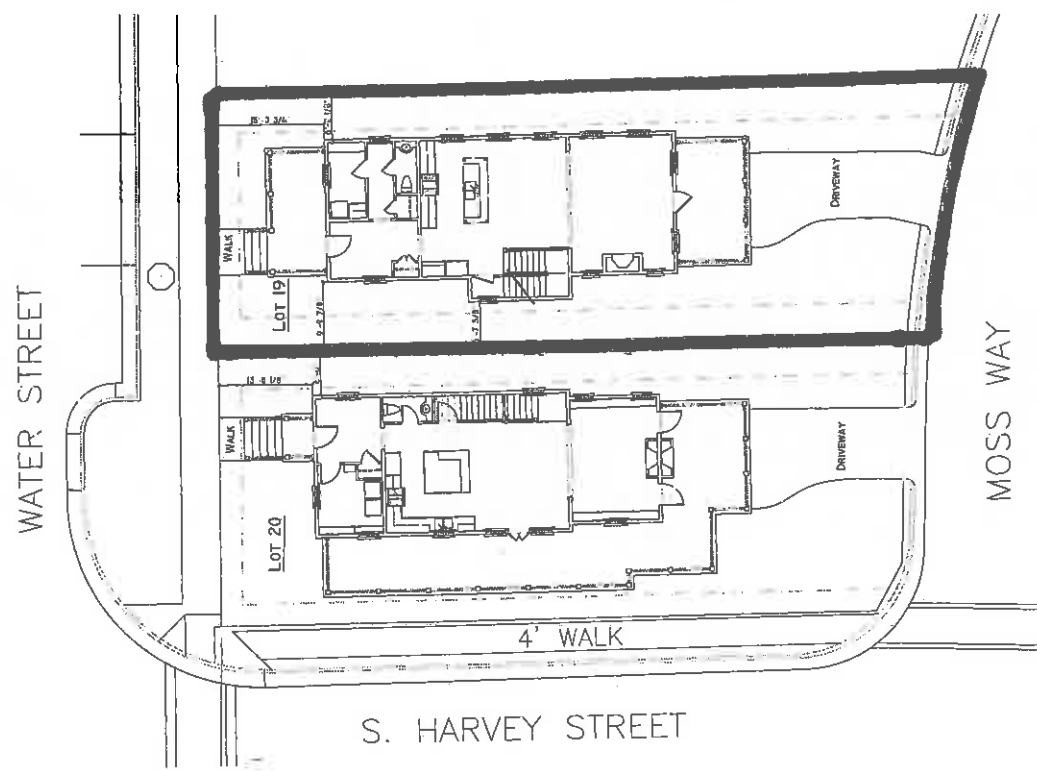
SUPPORTING INFORMATION:

Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure that your application is **complete**. **INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.** (Leave the checkbox blank if the item is not applicable).

- **Written Description.** Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (ie. Width of siding, window trim, etc.)
- **Plot Plan** (if applicable). A plot plan showing the relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences, walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey that you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.
- **Description of Materials** (provide samples if appropriate).
- ☐ **Photographs** of existing conditions.
- **Drawings** showing proposed work. Include one set of full size drawings when available.
 - ☐ **Plan** drawings.
 - **Elevation** drawings showing the new façade(s).
 - **Dimensions** shown on drawings.
 - **8-12" x 11" reductions** of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snapshots of individual drawings on the bigsheet. Photocopy reductions may be obtained from a number of blueprinting and photocopying businesses.
- ☐ **State or Federal Tax Credits/Funds or CAMA Permits.** If you are applying for any of these programs, you must include a copy of your letter or permit from the State.
- ☐ **Black Ink.** Your application must be prepared in black ink on 8-1/2" x 11" sheets so that it can be copied for commission members. Applications prepared in blue, red, or other colored inks and/or pencil copy poorly and will not be accepted.

(Office Use Only)

Section (page)	Topic	Brief Description of Work
Chapter 5.0	New Construction	Construct single family dwelling
Section 5.2	Residential Construction	



SITE PLAN
SCALE: 1/8" = 1'

Zoning Districts

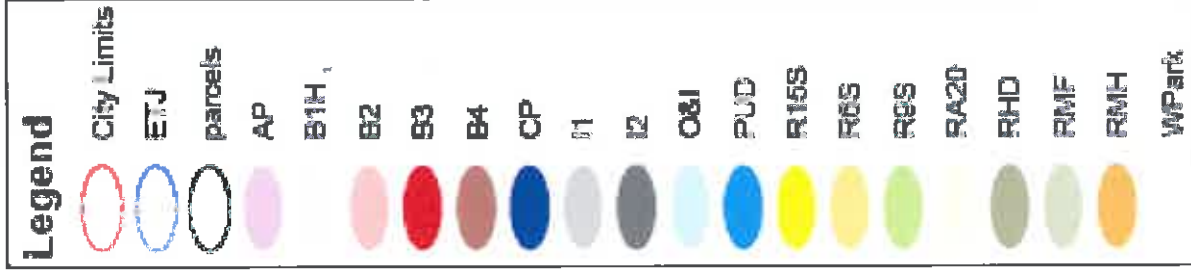
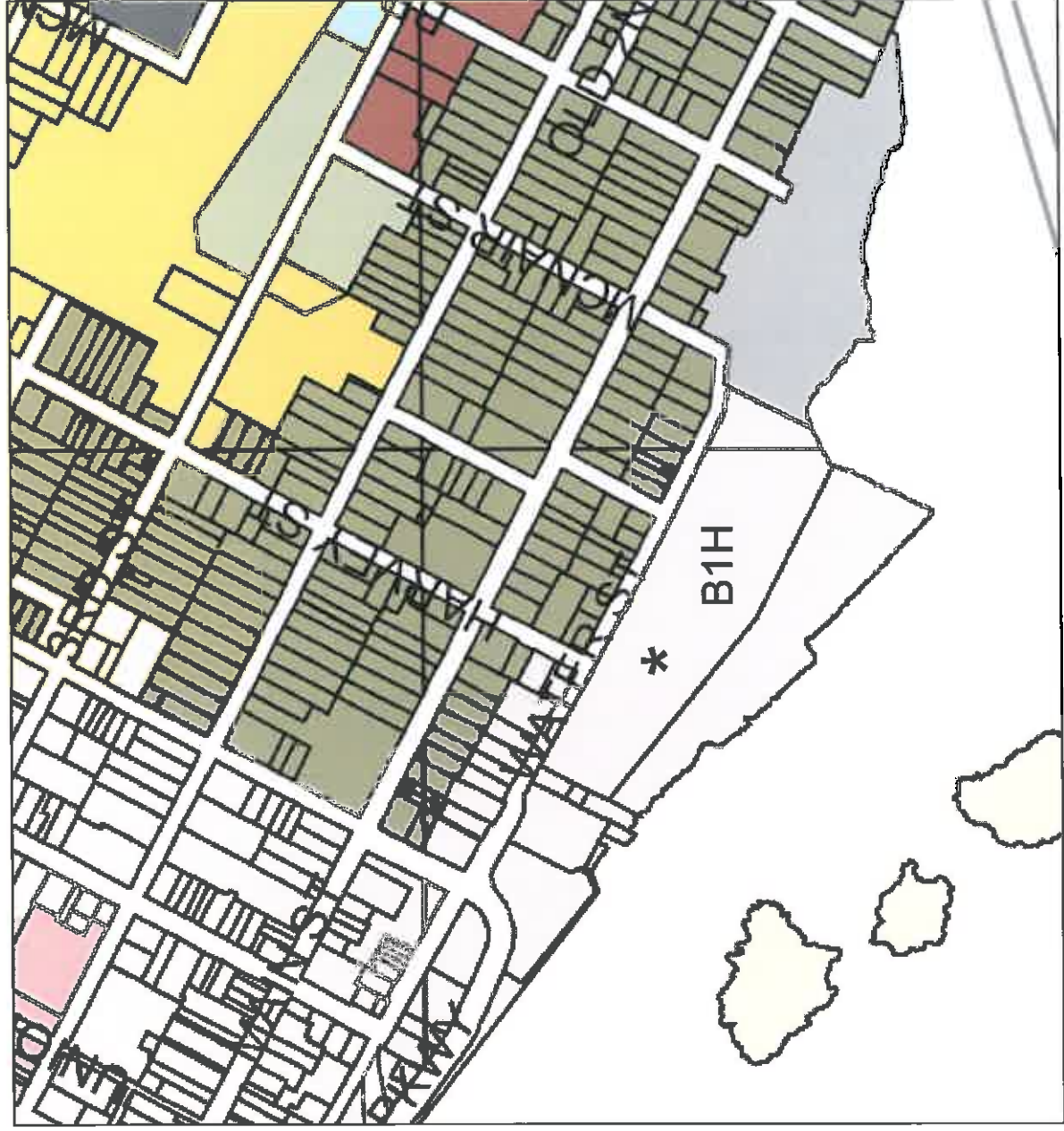


Table of Uses

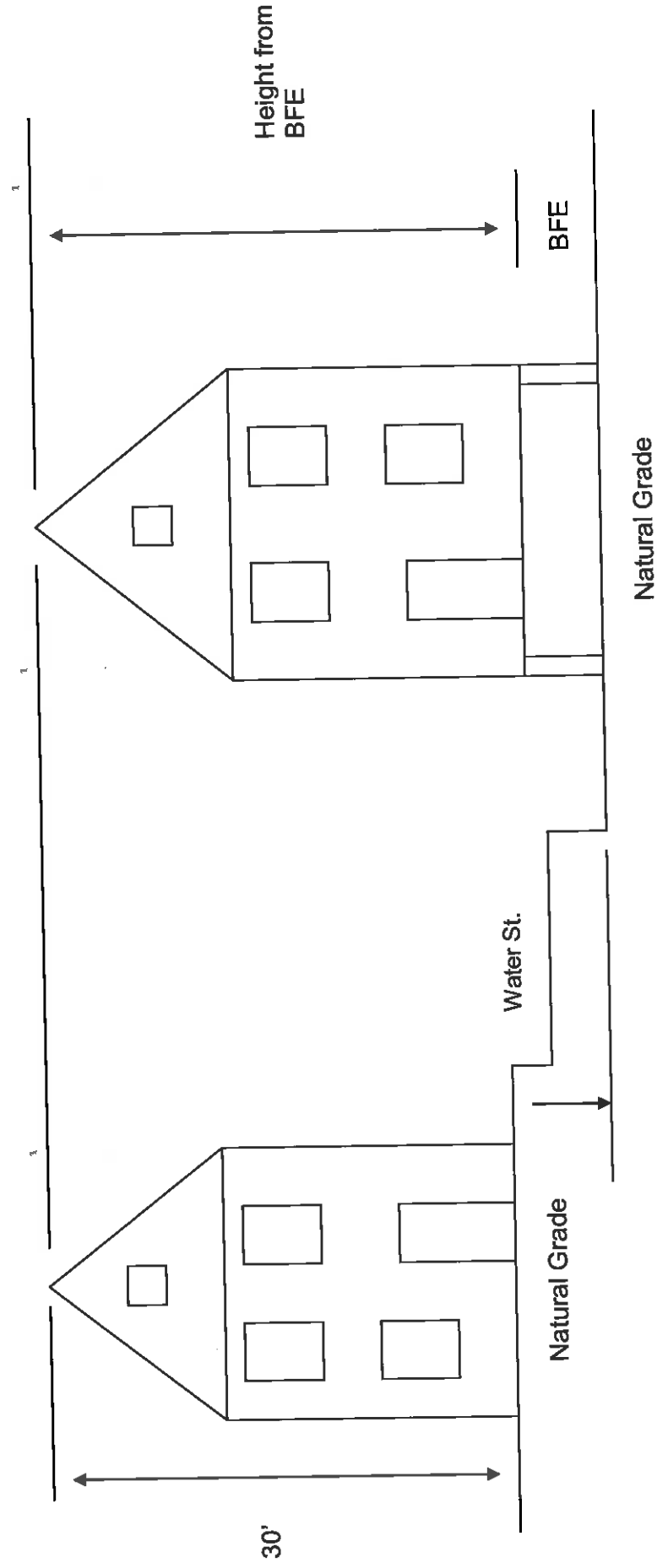
USE TYPES P = Permitted Use S = Special Use D = Subject to Developmental Standards Blank = Not Permitted	REF SIC	R A 2 0	R 1 5 S	R 9 S	R 6 S	R M F	R M H	R H D	O & I	B 1 H	B 2	B 3	B 4	I 1	I 2	A P	C P
RESIDENTIAL USES																	
Boarding & Rooming Houses (4 or less)	7021					D			D								
Common Area Recreation & Service Facilities	0000	P	P	P	P	P	P	P	P								
Congregate Care Facilities	0000			S	S			S	P								
Family Care Homes (6 or less)	0000	D	D	D	D	D	D	D	D								
Group Care Facilities	0000			S	S				P								
Home Occupation	0000	D	D	D	D	D	D	D	D	D							
Mobile Homes	0000						P										
Mobile Home Park	0000	S					P										
Multifamily Dwellings	0000		S	S	S	P	P	S	P	P							
Private Dormitories	0000					S											
Shelters, Emergency	0000	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Shelters for the Homeless	0000													S	S		
Single Family Detached Dwellings	0000	P	P	P	P	P	P	P	P	P						S	
Townhouse and Condominium Dwellings	0000					D				D							
Two Family Dwellings (Twin Homes & Duplexes)	0000		S	S	S	P	P	S		P							

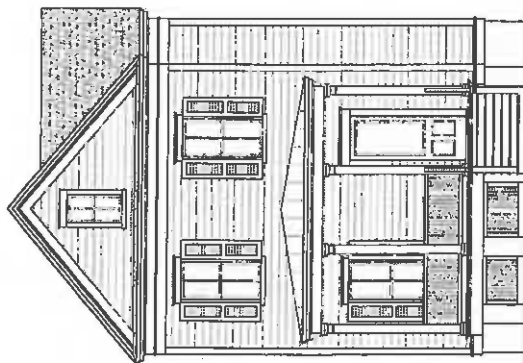
Dimensional Standards - Institutional and Commercial Districts

	O & I	B-1H	B-2	B-3	B-4
1	Min. Lot Size (sq. ft.)	7,500	20,000	10,000	6,000
2	Min. Lot Size (sq. ft.) (Two family attached)				
3	Min. Lot Size (sq. ft.) (Multifamily)				
4	Min. Lot Size (sq. ft.) if Water and Sewer are Available	7,500 ³	20,000	10,000	6,000
5	Min. Lot Width (ft.) (Single fam., two fam. attached)	60	100	100	60
6	Min. Lot Width (ft.) (Multifamily)				
7	Min. Front Yard Setback (ft.)	30	50	50	25
8	Min. Side Yard Setback (ft.)	8'	20	10	---
9	Min. Corner Lot Side Yard Setback (ft.)	15	25	25	25
10	Min. Rear Yard Setback (ft.)	15	20	20	10
11	Maximum Height (ft.)	96	---	---	50'
12	Max. Building Cover (percentage of lot)	40			40

Height of a Structure:

Historic District – The height of a new building shall be compatible with other buildings in the district when measured from the current Base Flood Elevation (BFE).





A102

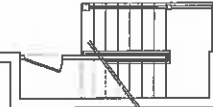
RESIDENCE
LOT 19, MOSS LANDING
WASHINGTON, N.C.

CLARK
DESIGN GROUP
1994
1000 JENNIFER DRIVE SW
SUITE 100
FARMINGTON, CT 06030
860-278-0000

NOTE: SEE ENGINEER'S SHEET
FOR FINAL FOUNDATION DIMENSIONS

GARAGE
12'-0" x 18'-0"

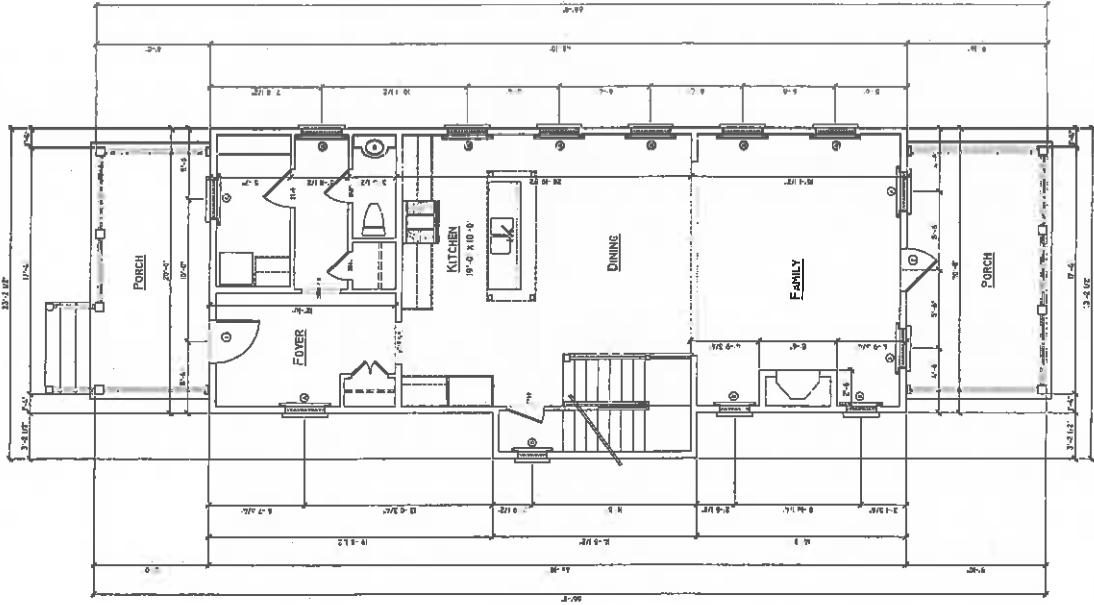
GARAGE
12'-0" x 18'-0"



AI03

RESIDENCE
LOT 19, MOSS LANDING
WASHINGTON, N.C.

CLARKE
DESIGN GROUP
343.337-4647
P.O. BOX
175, PLAZA, NC
910-10-000



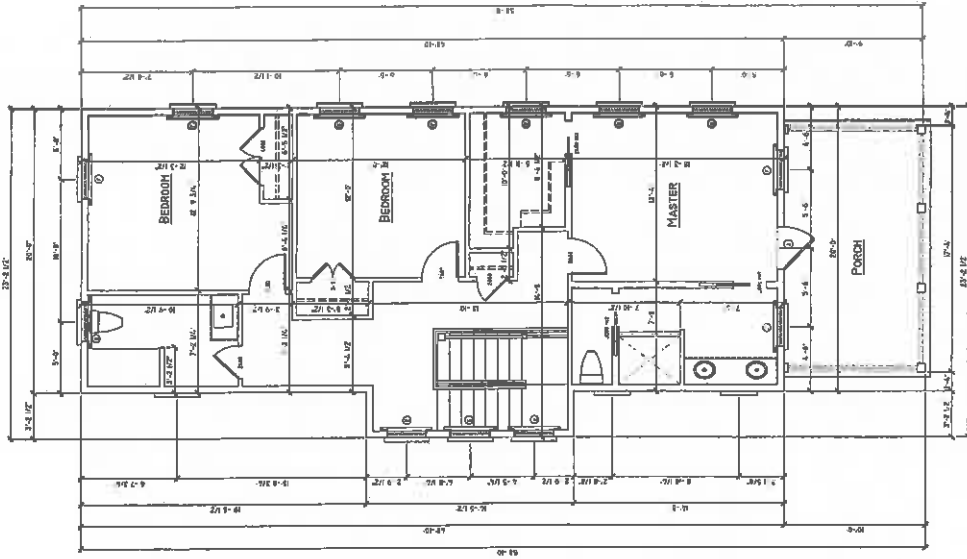
FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"
NOT TO SCALE

A104

RESIDENCE
LOT 19, MOSS LANDING
WASHINGTON, N.C.

CLARKE
ARCHITECTS
2000 JENNIFER LANE
FIS, MARYLAND, DC
20914
(410) 327-0000

REVISIONS
1. Revision
2. Revision



SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"

REVISIONS
1. 11/20/2020
2. 11/20/2020

RESIDENCE
LOT 19, MOSS LANDING
WASHINGTON, N.C.

1000 JEFFERSON DRIVE, SUITE 100
FARMVILLE, NC 27831
919-427-0647



NOTES

1. VERIFY ALL FOUNDATION DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
2. VERIFY ALL FRAMING DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
3. VERIFY ALL HOLDDOWN / SHEARWALL DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
4. CONTRACTOR RESPONSIBLE FOR ALL WATERPROOFING AND WATER MANAGEMENT DETAILS.

SOURCE FOOTAGE

GROUND FLOOR GARAGE:	1,023 SQFT
OTHER:	306 SQFT
TOTAL GROUND FLOOR:	1,329 SQFT
FIRST FLOOR HEATER:	1,023 SQFT
FRONT PORCH:	157 SQFT
REAR PORCH:	169 SQFT
TOTAL FIRST FLOOR:	1,329 SQFT
SECOND FLOOR HEATER:	1,023 SQFT
REAR PORCH:	169 SQFT
TOTAL SECOND FLOOR:	1,192 SQFT
TOTAL HEATER:	2,046 SQFT
TOTAL PORCHES:	476 SQFT
TOTAL GROUND FLOOR:	1,329 SQFT
TOTAL SF	3,850 SQFT

LABEL	SIZE	MANUFACTURER	DP RATING	HEADER HEIGHT	TEMPERED (R301)	TYPE	NOTES
A	2'8" X 6'2"	BY BUILDER	DP 50	8'-0" O.C.F.	N	DOUBLE HANG	
B	2'0" X 6'2"	BY BUILDER	DP 50	8'-0" O.C.F.	N	DOUBLE HANG	
C	2'8" X 6'2"	BY BUILDER	DP 50	8'-0" O.C.F.	Y	DOUBLE HANG	
D	2'0" X 6'2"	BY BUILDER	DP 50	9'-0" O.C.F.	Y	DOUBLE HANG	
E	2'8" X 5'6"	BY BUILDER	DP 50	8'-0" O.C.F.	N	DOUBLE HANG	
F	2'8" X 6'2"	BY BUILDER	DP 50	8'-0" O.C.F.	N	DOUBLE HANG	
1	3'0" X 8'0"	BY BUILDER	DP 50	8'-0" O.C.F.			SEE DETAIL
2	3'0" X 8'0"	BY BUILDER	DP 50	8'-0" O.C.F.			SEE DETAIL

NOTE: VERIFY ALL GLAZING REQUIREMENTS ON WINDOWS AND DOORS PER APPLICABLE CODE
BUILDER TO SUPPLY PER CUT AND LABELED PLYWOOD TO ADHERE TO "WIND BLOWN OVERLAP PROTECTION" IRC R301.2.1.2.

WINDOW / DOOR SCHEDULE

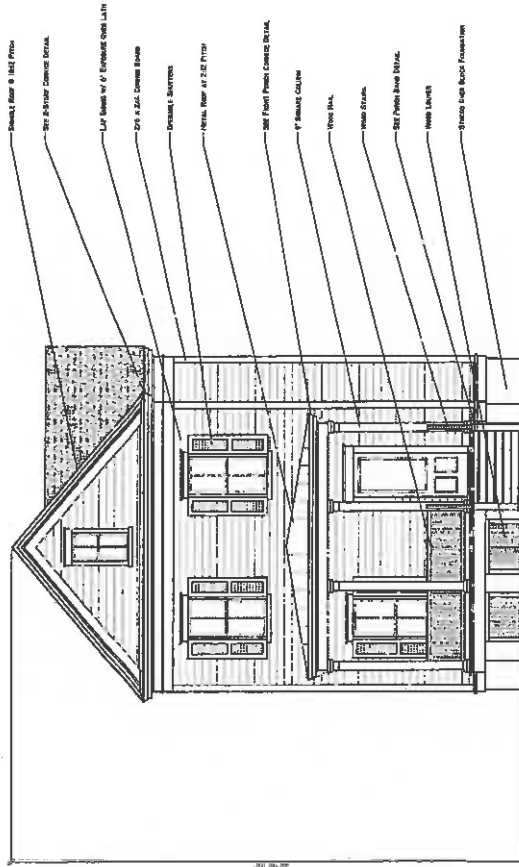
A201

RESIDENCE
LOT 19, MOSS LANDING
WASHINGTON, N.C.

CLARKE
DESIGN GROUP
1008 Avenue of the Arts
RTE. 100-106
FARMVILLE, NC 27834
919-279-0667

REVISIONS
1. Revised
2. Revised
3. Revised

NORTH ELEVATION
SCALE: 1/4" = 1'

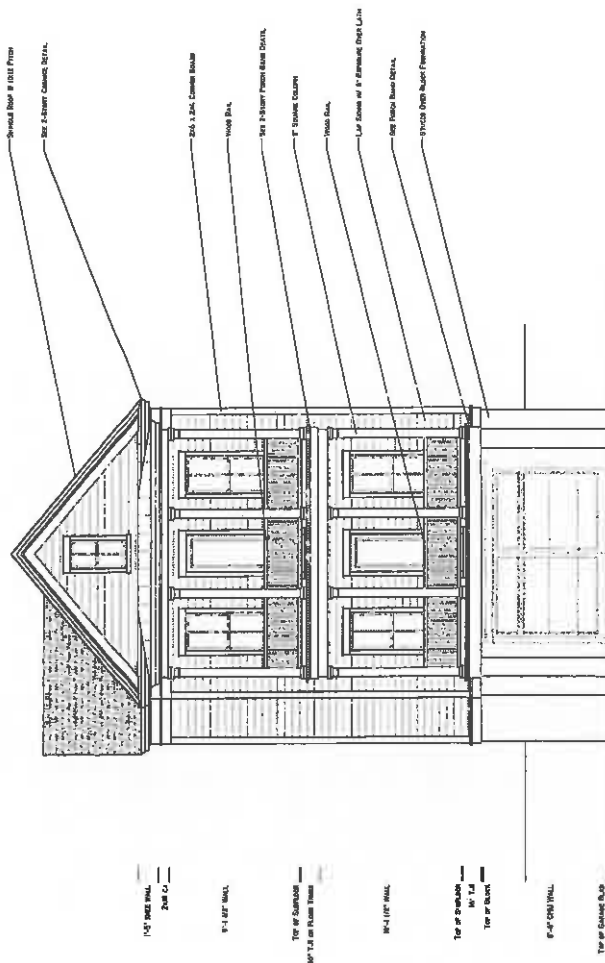


A203

RESIDENCE
LOT 19, MOSS LANDING
WASHINGTON, N.C.

CLARK
ARCHITECTS
1000 JENNIFER LANE, SUITE 100
FARMINGTON, CT 06030-2000
TEL: 860-646-0000
FAX: 860-646-0001

SOUTH ELEVATION
SCALE 1/4" = 1'

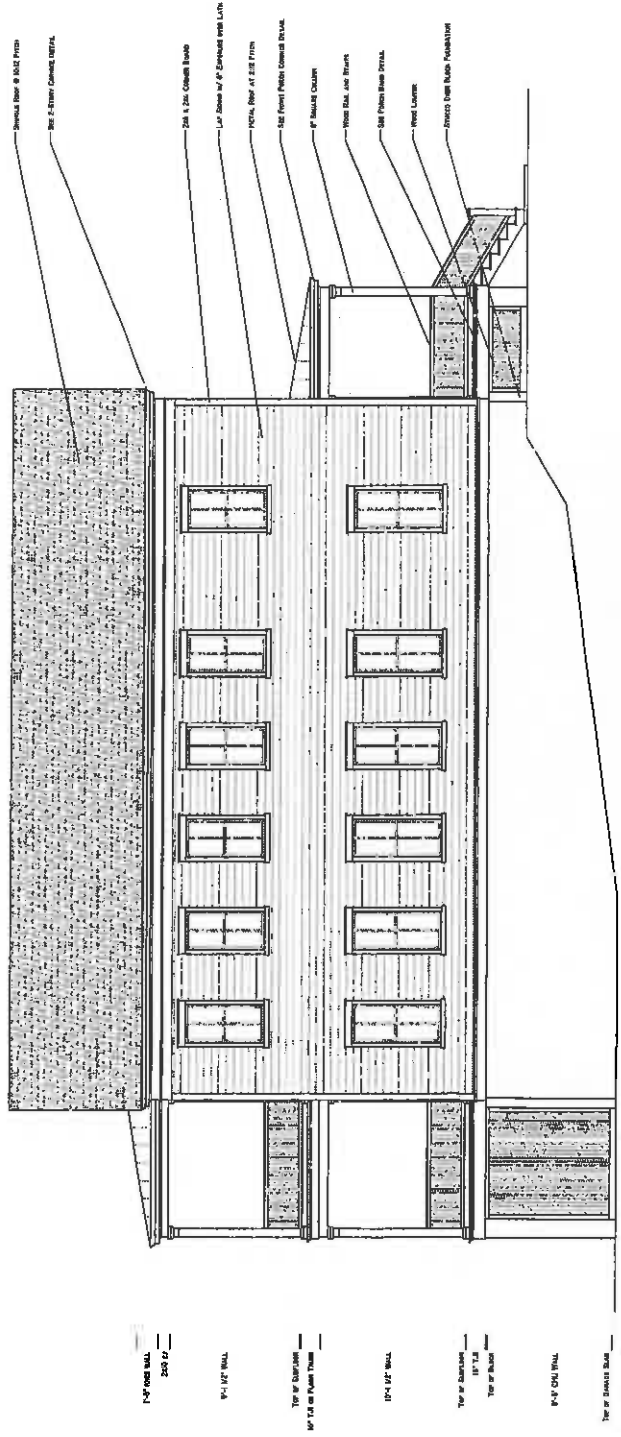


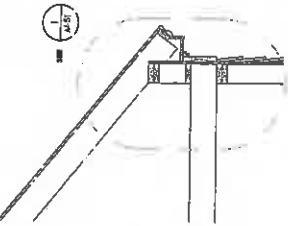
A204

RESIDENCE
LOT 19, MOSS LANDING
WASHINGTON, N.C.

CLARK
DESIGN GROUP
1802 JOHNSON DRIVE B.L.V.
FISHER, N.C. 27834
919-279-0667

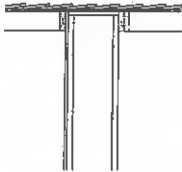
EAST ELEVATION
SCALE: 1/8" = 1'





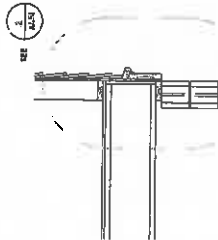
1'-0" KNEE WALL
2x8 CJ

9'-1 1/2"



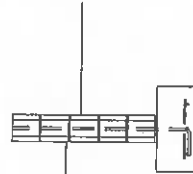
TOP OF SUBFLOOR
14" TJI

10'-1 1/2" WALL



TOP OF SUBFLOOR
TOP OF PORCH FLOOR
TOP OF BLOCK

PROPOSED FINAL GRADE @ STREET



TOP OF SLAB
PROPOSED FINAL GRADE @ DRIVE

2-STORY WALL SECTION
SCALE 3/4" = 1'

CLARK
ARCHITECT
1800 JEFFERSON HIGHWAY, SUITE 100
FARMINGTON, CT 06030
TEL: 860-646-1177
FAX: 860-646-1178

RESIDENCE
LOT 19, MOSS LANDING
WASHINGTON, N.C.

REVISIONS
1. Revision
2. Revision

A4-01

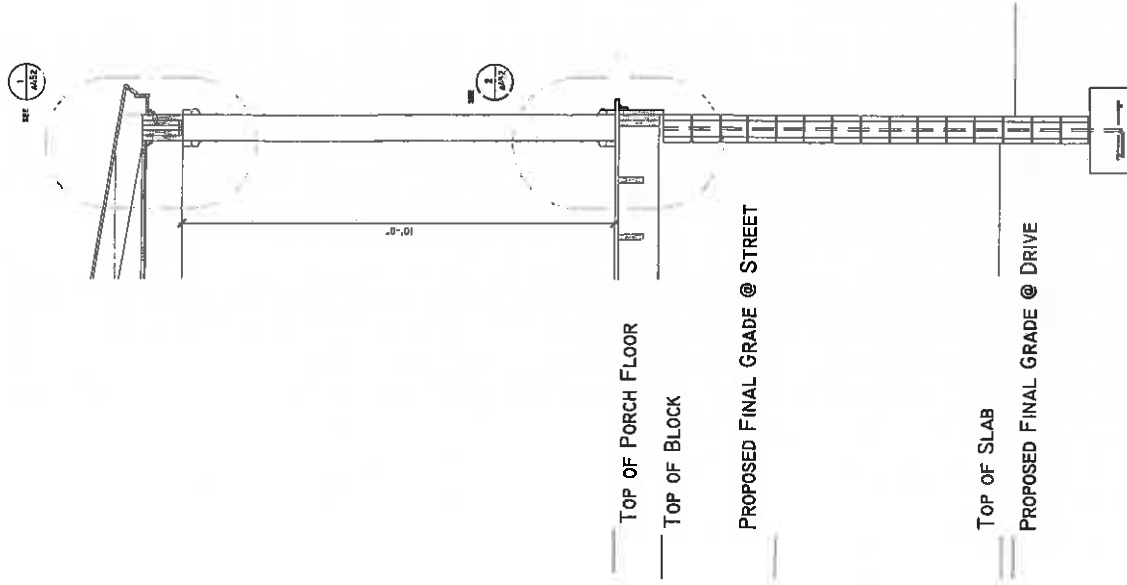
A402

RESIDENCE
Lot 19, Moss Landing
WASHINGTON, N.C.

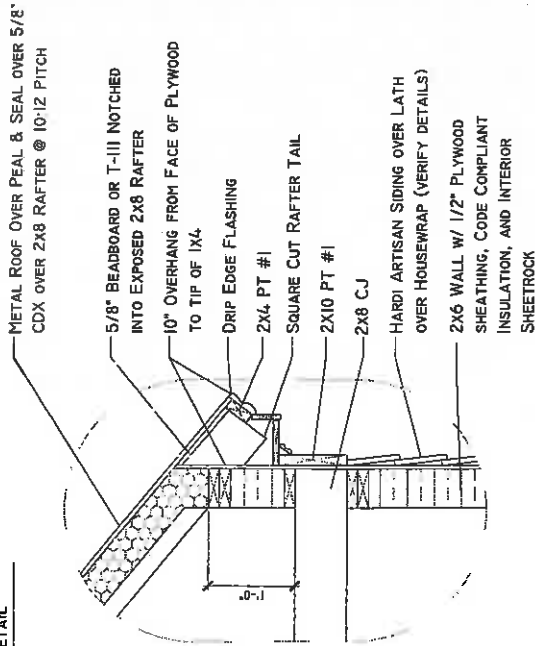
CLARKE
ARCHITECTS
1000 JENNINGS DRIVE BLDG. 110
FAYETTEVILLE, NC 28404-1000
TEL: 919-487-0547

DATE: 11/11/11
BY: [Signature]
CHECKED: [Signature]

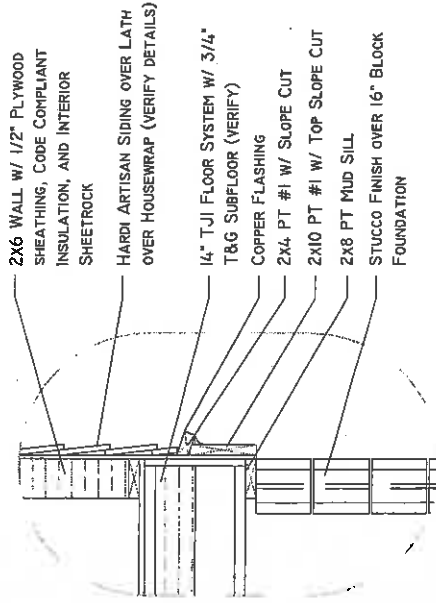
PORCH SECTION
SCALE 3/4" = 1'



1
A451
2-STORY CORNICE DETAIL
SCALE: 1/2" = 1'



2
A451
2-STORY CORNICE DETAIL
SCALE: 1/2" = 1'



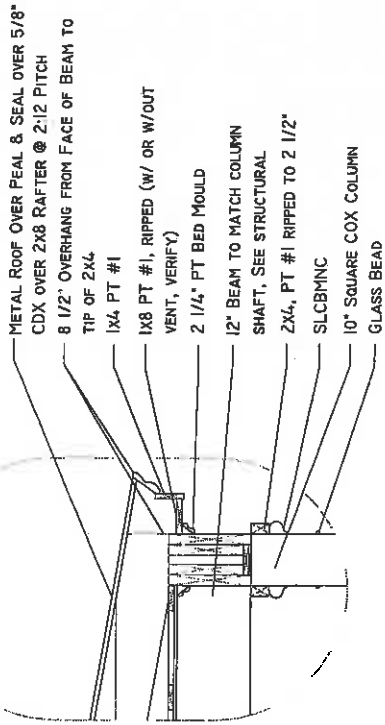
NOTES

1. VERIFY ALL FOUNDATION DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
2. VERIFY ALL FRAMING DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
3. VERIFY ALL HOLDDOWN / SHEARWALL DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
4. CONTRACTOR RESPONSIBLE FOR ALL WATERPROOFING AND WATER MANAGEMENT DETAILS.
5. REFER TO STRUCTURAL DRAWING FOR ALL FRAMING DETAILS AND DIMENSIONS.

1 PORCH CORNICE DETAIL

SCALE: 1 1/2" = 1'

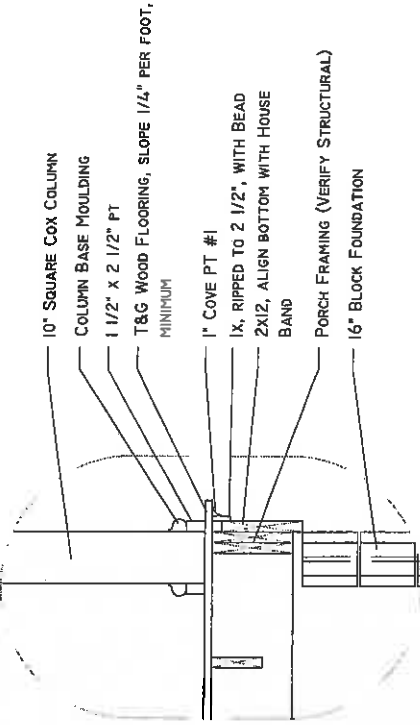
A453



2 PORCH CORNICE DETAIL

SCALE: 1 1/2" = 1'

A452



NOTES

1. VERIFY ALL FOUNDATION DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
2. VERIFY ALL FRAMING DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
3. VERIFY ALL HOLDDOWN / SHEARWALL DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
4. CONTRACTOR RESPONSIBLE FOR ALL WATERPROOFING AND WATER MANAGEMENT DETAILS.
5. REFER TO STRUCTURAL DRAWING FOR ALL FRAMING DETAILS AND DIMENSIONS.

RESIDENCE

LOT 19, MOSS LANDING
WASHINGTON, N.C.



CLARKE
ARCHITECT
1111 17TH AVENUE
SUITE 100
DENVER, CO 80202

A452

Adjacent Property Owners – Moss Landing – Harbour Homes

Jim Nance
PO Box 2247
Washington, NC 27889

Stan Friedman
401 Moss Way Ste 301
Washington, NC 27889

Vickie Dotson
620 Duck Creek Rd
Washington, NC 27889

Moss Property Partners
1589 West 5th Street
Washington, NC 27889

Ms. Dee Congleton
210 Water Street
Washington, NC 27889

Herman Gaskins Jr.
PO Box 933
Washington, NC 27889

NC Estuarium
223 E. Water Street
Washington, NC 27889

Joe & May-I Taylor
200 Water Street
Washington, NC 27889

Charlie Hough
201 S. Academy Street
Washington, NC 27889

William Toler
224 Water Street
Washington, NC 27889

Rebecca Clark
203 S. Academy Street
Washington, NC 27889

Richard H. Hodges
1537 Craig Street
Greenville, NC 27834

Litchfield Holdings, LLC
135 Harbor Road
Washington, NC 27889

Dianna Aideuis
122 S. Harvey Street
Washington, NC 27889

William Henry Jr.
217 Mallard Lane
Newport News, Va. 23605

A.L. Crisp
122 S. Academy Street
Washington, NC 27889

Charlotte N. Mason
119 S. Harvey Street
Washington, NC 27889

Steven Radar
113 S. Harvey Street
Washington, NC 27889

Maurice M. Bridgeman
204 Yukon Street
Hampton, Va. 23663

Walter T. Hannah
1721 Anderson Street
Wilson, NC 27893

William W. Moore Jr.
2517 Crown Court
Panama City, Fl. 32405

Margaret Gray Howdy
326 Water Street
Washington, NC 27889

Steve Gallo
300 Southberry Wynd
Greenville, NC 27834

Gary Shippy
109 Sonoma Valley Drive
Cary, NC 27518

Jeffrey Davis
315 Yadkin Drive
Raleigh, NC 27609

Steven Ballard
605 East 5th Street
Greenville, NC 27858

Dennis P. Kane
PO Box 1197
Island Heights, NJ 08732

Arthur Tyndall
110 S. Harvey Street
Washington, NC 27889

Cheryl V. Vaughn
210 S. Academy Street
Washington, NC 27889

John R. Rice
211 S. Academy Street
Washington, NC 27889

Dorothy Wheeler
512 Hickory Woods Way
Antioch, TN 37013

July 23, 2014

Subject: Certificate of Appropriateness – Moss Landing – Lots #19 & #20

Dear Adjoining Property Owner,

Whenever exterior renovation work is being conducted in the Washington Historic District, all property owners within 100 feet of the proposed construction activities and adjacent property owners are required to be notified by the City of Washington. According to the application submitted by Moss Landing and Beacon Street Development your property is located adjacent to the above subject property. A request has been made by Beacon Street for a Certificate of Appropriateness to construct two (2) new single family dwellings on the property located on Lots #19 & #20 on East Water Street.

You are welcome and encouraged to attend the regular scheduled meeting of the Washington Historic Commission. Please note the following date, time, and place:

Date: Tuesday, August 5, 2014

Place: City Hall - Municipal Building, 102 East Second Street.
Enter from the Market Street side of the building and go to the second floor. City Council Chambers.

Time: 7:00 P.M.

During the meantime, should you have any questions, please direct your inquiries to Mr. John Rodman, Planning and Development, by phoning 975-9384 during normal working hours Monday through Friday, 8:00 A.M. to 5:00 P.M.

Sincerely,

John Rodman

John Rodman
Planning and Development

REQUEST FOR COMMISSION ACTION

To: Historic Preservation Commission

From: John Rodman, Planning and Development

Re: Lot #19 Moss Landing Homes – Construction of a single family dwelling

A request has been made by Mr. Jim Wiley of Beacon Street Development for a Certificate of Appropriateness to construct a new single family dwelling on the property located at Lot #19 Moss Landing Homes. Please review the Design Guidelines, specifically Section 5.0 New Construction Chapter 5.2 Residential Construction.

To grant such a request, the Historic Preservation Commission must make findings of fact, which are included in the sample motions below. Any conditions the Commission feels appropriate may be attached to the motion.

Possible Actions

I move that the Historic Preservation Commission grant a Certificate of Appropriateness to Mr. Jim Wiley of Beacon Street Development to construct a new single family dwelling on the property located at Lot #19 Moss Landing Homes. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically Section 5.0 New Construction Chapter 5.2 Residential Construction.

or

I move that the Historic Preservation Commission grant a Certificate of Appropriateness to Mr. Jim Wiley of Beacon Street Development to construct a new single family dwelling on the property located at Lot #19 Moss Landing Homes. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically Section 5.0 New Construction Chapter 5.2 Residential Construction. I further move that the Historic Preservation Commission place the following conditions on the approval:

or

I move that the Historic Preservation Commission deny a Certificate of Appropriateness to Mr. Jim Wiley of Beacon Street Development to construct a new single family dwelling on the property located at Lot #19 Moss Landing Homes. This motion is based on the following findings of fact: the application is not congruous with the Historic Preservation Commission Design Guidelines, specifically Section 5.0 New Construction Chapter 5.2 Residential Construction.

Beacon Street Properties
Moss Landing

New Construction – Design Approval
Lot #20 – Single Family Dwelling

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission

Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please Use Black Ink

Street Address of Property: Water & Harvey Streets - Moss Landing Development - Lot #20

Historic Property/Name (if applicable): N/A

Owner's Name: Beacon Street Development Co. - Jim Wiley

Lot Size: 37' feet by 94' feet. 0.083 acres
(width) (depth)

List all properties within 100 feet; on both sides, in front (across the street), and to the back of the property: (If necessary, attach a separate sheet)

Brief Description of Work to be Done:

Construct new single family two-story dwelling on Lot #20. The home will be consistant with other homes
in the District.

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

Office Use Only	
(Date Received)	(Initials)
ACTION	
<input type="radio"/> Approved	_____
<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

Jim Wiley - Beacon Street Development Co.
(Name of Applicant - type or print)

PO Box 6474 Raleigh, NC 27628
(Mailing Address) (Zip Code)

7/23/14 919-785-1445
(Date) (Daytime Phone Number)

Jim Wiley
(Signature of Applicant)

Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____. Issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.)

(Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.

PROJECT CATEGORIES (check all that apply):

- ☐ Exterior Alteration ☐ Addition
☒ New Construction ☐ Demolition

This document does not constitute the issuance of a Building Permit. It is the responsibility of the applicant to obtain all necessary permits before commencing work. Contact the Inspections Department at 252-975-9304.

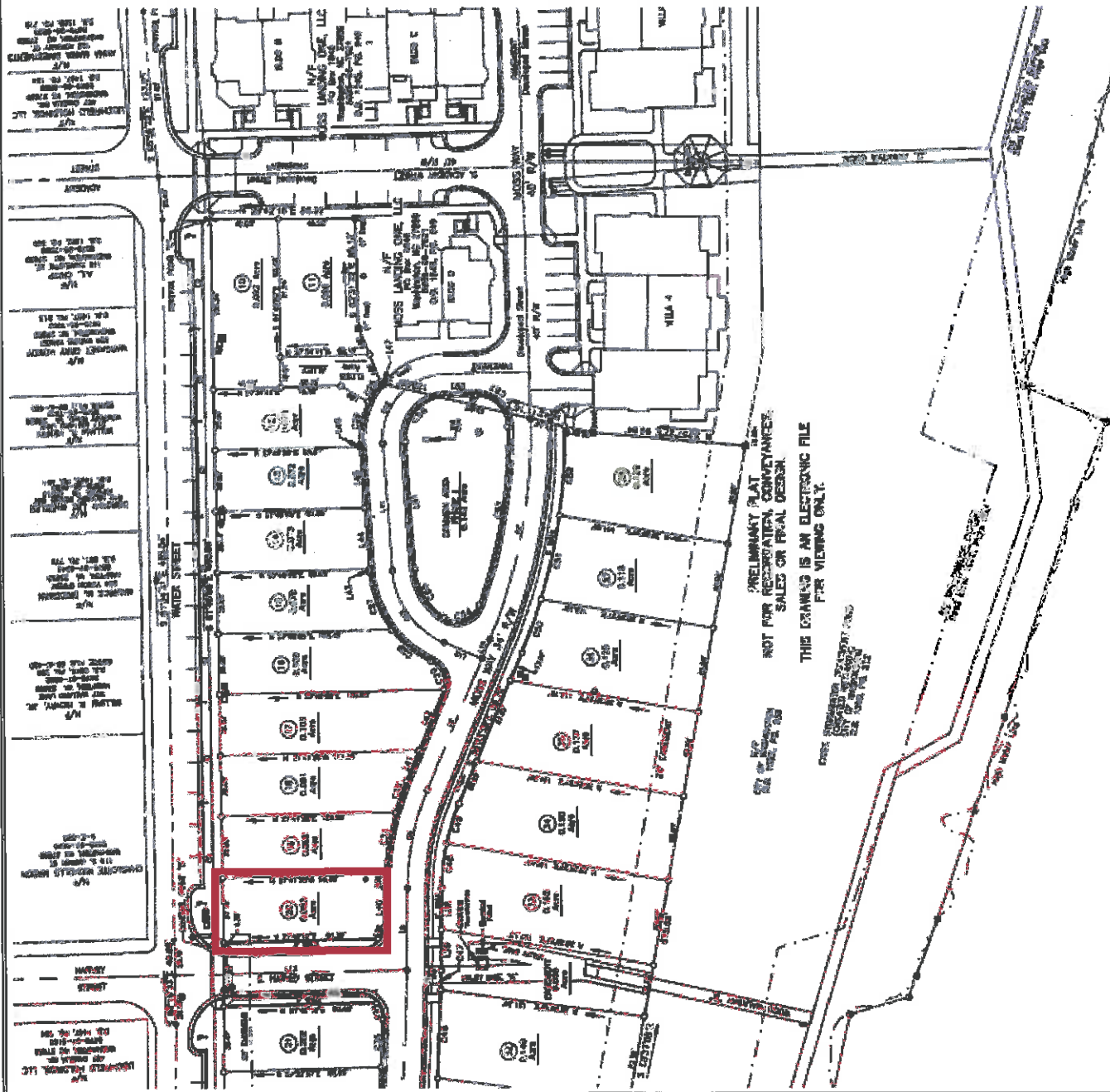
SUPPORTING INFORMATION:

Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure that your application is complete. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED. (Leave the checkbox blank if the item is not applicable).

- ☒ **Written Description.** Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (ie. Width of siding, window trim, etc.)
- ☒ **Plot Plan** (if applicable). A plot plan showing the relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences, walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey that you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.
- ☒ **Description of Materials** (provide samples if appropriate).
- ☐ **Photographs** of existing conditions.
- ☒ **Drawings** showing proposed work. Include one set of full size drawings when available.
 - ☐ **Plan** drawings.
 - ☒ **Elevation** drawings showing the new façade(s).
 - ☒ **Dimensions** shown on drawings.
 - ☒ **8-12" x 11" reductions** of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snapshots of individual drawings on the bigsheet. Photocopy reductions may be obtained from a number of blueprinting and photocopying businesses.
- ☐ **State or Federal Tax Credits/Funds or CAMA Permits.** If you are applying for any of these programs, you must include a copy of your letter or permit from the State.
- ☐ **Black Ink.** Your application must be prepared in black ink on 8-1/2" x 11" sheets so that it can be copied for commission members. Applications prepared in blue, red, or other colored inks and/or pencil copy poorly and will not be accepted.

(Office Use Only)

Section (page)	Topic	Brief Description of Work
Chapter 5.0	New Construction	Construct single family dwelling
Section 5.2	Residential Construction	



PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCE,
SALES OR FINAL DESIGN.
THIS DRAWING IS AN ELECTRONIC FILE
FOR VIEWING ONLY.

from the other direction.

THESE ARE THE NAMES OF THE PEOPLE WHO WERE KILLED IN THE BOMBING OF THE LINCOLN CONTINENTAL HOTEL IN NEW YORK CITY ON APRIL 4, 1968.

4.15.1.5.2

THEORY OF CHANGE

THE UNIVERSITY OF CHICAGO

THE JOURNAL OF THE

— **THE**

参考文献

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5

TESTS OF SIGNIFICANCE

WE BELIEVE IN THE POWER OF THE

COLLEGE BOARD **AP** **SCIENCE** **EXAM**



1111

Table 1

SUM

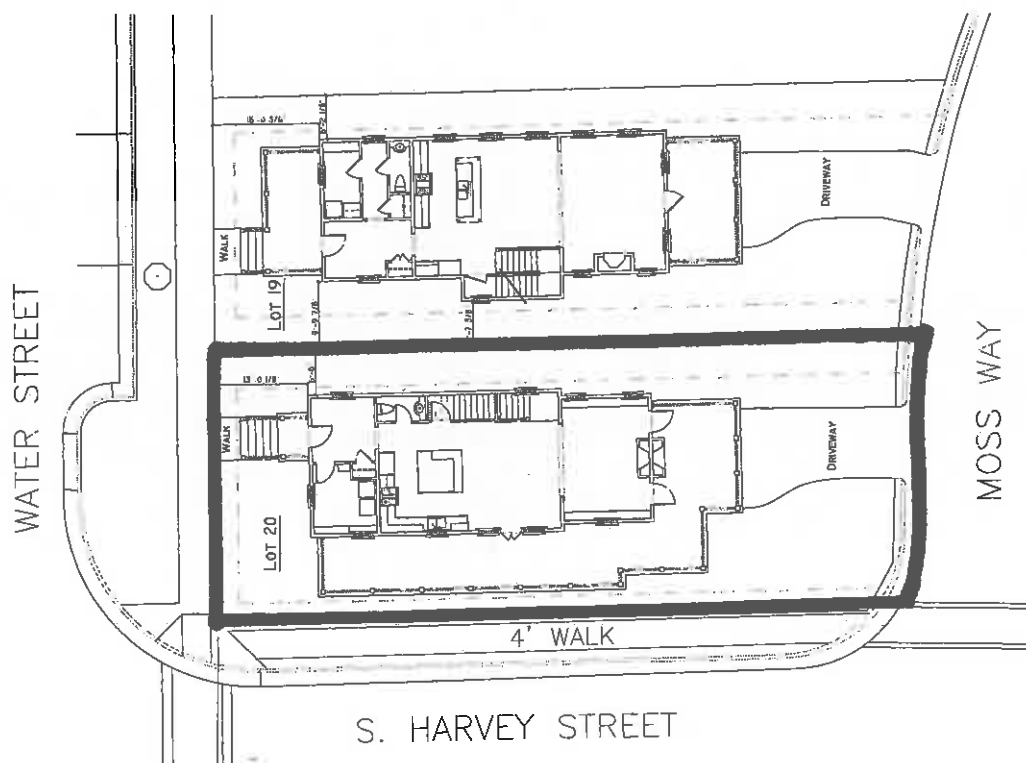
ЦАДР

1000

FOR 187 1.95

Left

1. **STRENGTH**



Zoning Districts

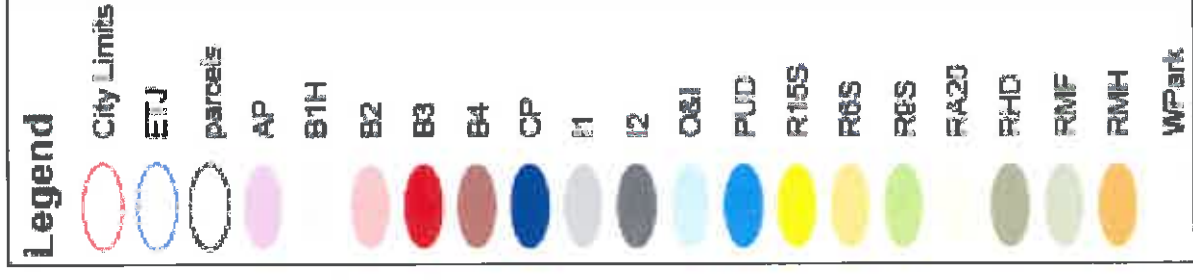


Table of Uses

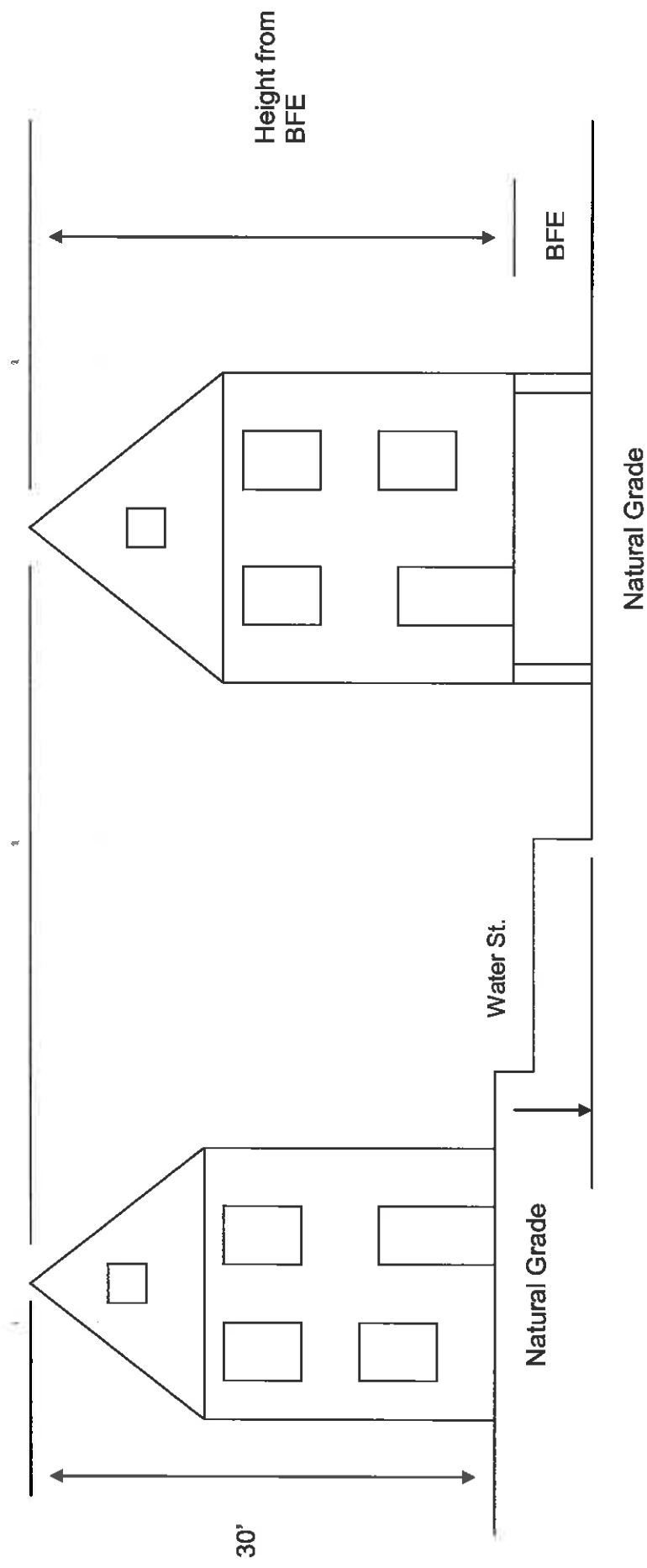
USE TYPES P = Permitted Use S = Special Use D = Subject to Developmental Standards Blank = Not Permitted	REF SIC	R A 2 0	R 1 5 S	R 9 S	R 6 S	R M F	R M H	R H D	O & I	B 1 H	B 2	B 3	B 4	I 1	I 2	A P	C P
RESIDENTIAL USES																	
Boarding & Rooming Houses (4 or less)	7021					D			D								
Common Area Recreation & Service Facilities	0000	P	P	P	P	P	P	P	P								
Congregate Care Facilities	0000			S	S			S	P								
Family Care Homes (6 or less)	0000	D	D	D	D	D	D	D	D								
Group Care Facilities	0000			S	S				P								
Home Occupation	0000	D	D	D	D	D	D	D	D	P							
Mobile Homes	0000						P										
Mobile Home Park	0000	S					P										
Multifamily Dwellings	0000		S	S	S	P	P	S	P	P							
Private Dormitories	0000					S											
Shelters, Emergency	0000	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Shelters for the Homeless	0000													S	S		
Single Family Detached Dwellings	0000	P	P	P	P	P	P	P	P	P						S	
Townhouse and Condominium Dwellings	0000					D				D							
Two Family Dwellings (Twin Homes & Duplexes)	0000		S	S	S	P	P	S		P							

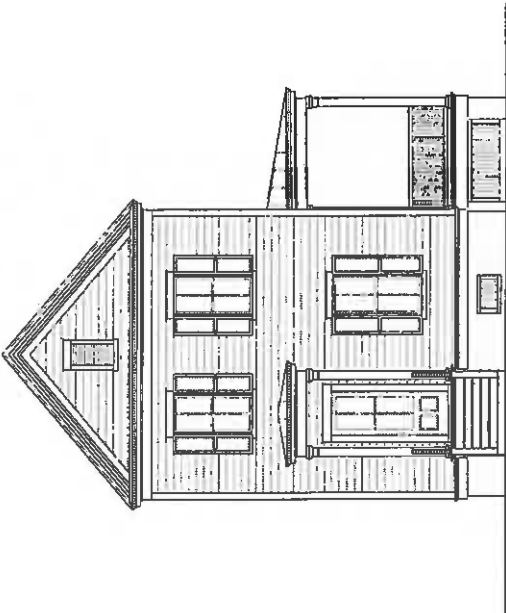
Dimensional Standards - Institutional and Commercial Districts

		O & I	B-1H	B-2	B-3	B-4
1	Min. Lot Size (sq. ft.)	7,500		20,000	10,000	6,000
2	Min. Lot Size (sq. ft.) (Two family attached)					
3	Min. Lot Size (sq. ft.) (Multifamily)		Per Art. XI			
4	Min. Lot Size (sq. ft.) if Water and Sewer are Available	7,500		20,000	10,000 ₁	6,000
5	Min. Lot Width (ft.) (Single fam., two fam. attached)	60	30'	100	100	60
6	Min. Lot Width (ft.) (Multifamily)		Per Art. XI			
7	Min. Front Yard Setback (ft.)	30		50	50	25
8	Min. Side Yard Setback (ft.)	8'		20	10	***
9	Min. Corner Lot Side Yard Setback (ft.)	15		25	25	25
10	Min. Rear Yard Setback (ft.)	15		20	20	10
11	Maximum Height (ft.)	96	96	***	****	50'
12	Max. Building Cover (percentage of lot)	40				40

Height of a Structure:

Historic District – The height of a new building shall be compatible with other buildings in the district when measured from the current Base Flood Elevation (BFE).





- GENERAL NOTES**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL VERIFY PLUMB, LEVEL, SQUARE, AND OTHER CONDITIONS THAT ARE INCONSISTENT WITH THE DRAWINGS.
 2. ALL DIMENSIONS SHALL BE GIVEN IN FEET AND INCHES. DIMENSIONS SHALL BE GIVEN TO THE CENTERLINE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL CHECK AND COORDINATE ALL DIMENSIONS AND CLEARANCES WITH THE OWNER AND ALL OTHERS.
 3. THE DRAWINGS HEREIN ARE SHOWN AS INFORMATION ONLY AND ARE NOT INTENDED TO CONSTITUTE A CONTRACT. CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND CLEARANCES WITH THE OWNER AND ALL OTHERS. CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND CLEARANCES WITH THE OWNER AND ALL OTHERS.
 4. DIMENSIONS ARE TO FACE OF STUDY MATERIAL.

RESIDENCE

LOT 20, MOSS LANDING

WASHINGTON, N.C.

- INDEX:**
- A102 FOUNDATION PLAN
 - A103 FIRST FLOOR PLAN
 - A104 SECOND FLOOR PLAN
 - A105 DOOR & WINDOW SCHEDULE
 - A201 ELEVATIONS
 - A202 ELEVATIONS
 - A203 ELEVATIONS
 - A204 ELEVATIONS
 - A101 SECTION
 - A102 SECTION
 - A101 DETAIL
 - A102 DETAIL

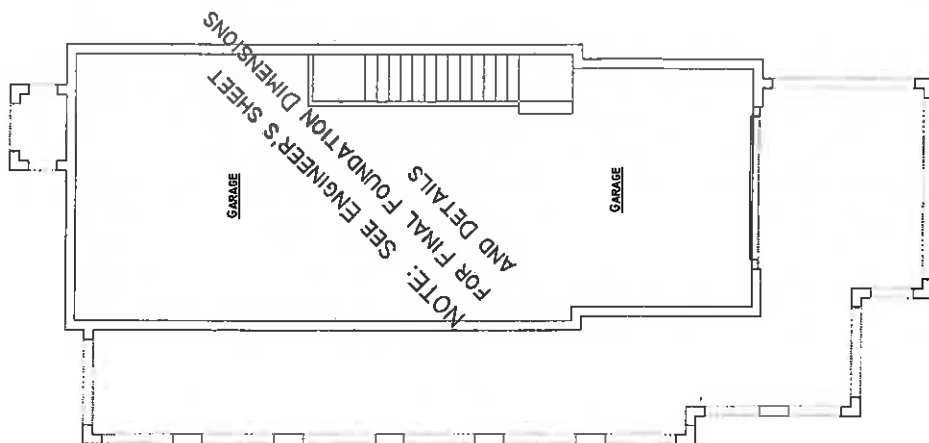
A102

RESIDENCE
LOT 20, MOSS LANDING
WASHINGTON, N.C.

DESIGN GROUP
CLARKE
2700
700 N. MARKET, 10
RTE. 202-90
1000 JAMES STREET, SUITE 210

DATE: 04.14
BY: J. BROWN
CHECKED: J. BROWN

GROUND FLOOR PLAN



A103

RESIDENCE
LOT 20, MOSS LANDING
WASHINGTON, N.C.

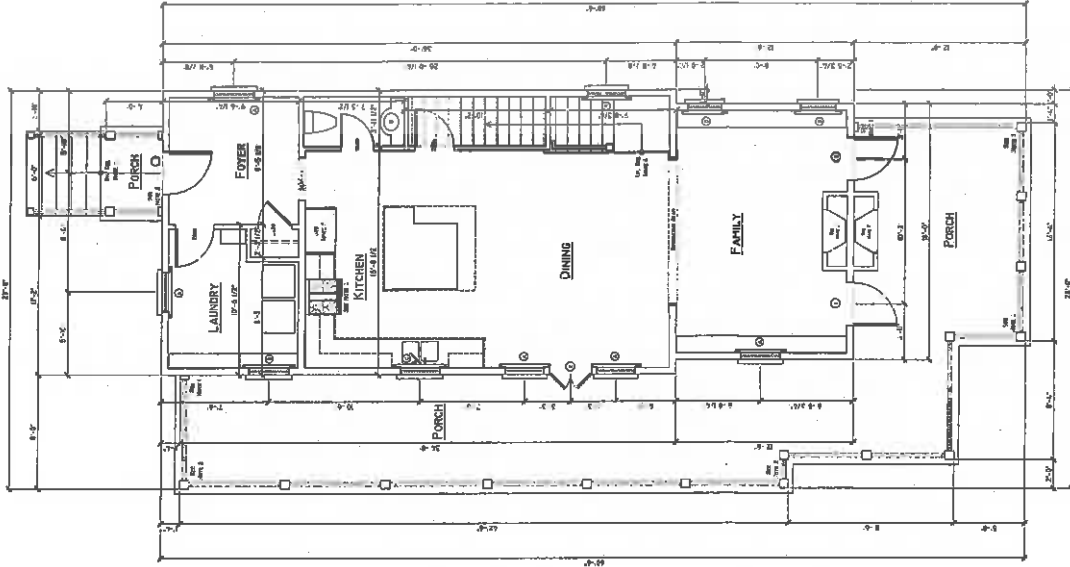
1000 APPROX. DROPPED ELEV.
701. PLANKS, 2x2
10-12-10-17



REVISIONS
1. 11-11-10
2. 11-11-10

NOTES

- NOTE 1: 3" PILASTER, SHAFT WIDTH TO
ALIGN WITH BEAM ABOVE.
NOTE 2: 8" SQUARE COX COLUMN, TYP.
NOTE 3: 6 RISERS AT 7 1/8"
NOTE 4: 18 RISERS AT 7.57"
NOTE 5: 30" REF.
NOTE 6: 30" RANGE
NOTE 7: 30" FT - VERIFY FINAL DIMS. AND
DETAILS



FIRST FLOOR PLAN
1000 1/4"

A104

RESIDENCE
LOT 20, MOSS LANDING
WASHINGTON, N.C.

CLARK
DESIGN GROUP
1000 SHAWNEE SQUARE DRIVE
SUITE 200
FARMINGTON, CT 06030-4417

NOTES

NOTE 1: 3" PILASTER, SHAFT WIDTH TO
ALIGN WITH BEAM ABOVE.

NOTE 2: 8" SQUARE COX COLUMN, TYP.

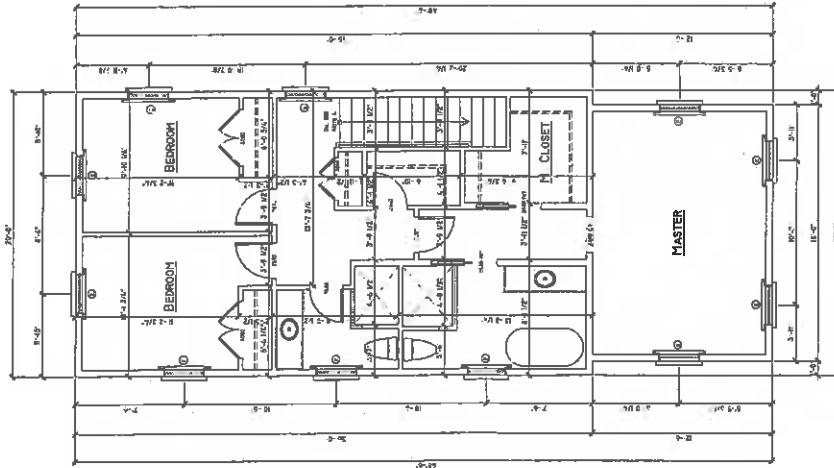
NOTE 3: 6 RISERS AT 7 1/8"

NOTE 4: 18 RISERS AT 7.37"

NOTE 5: 36" RIF.

NOTE 6: 30" RANGE

NOTE 7: 36" FP - VERIFY FINAL DIMS. AND
DETAILS



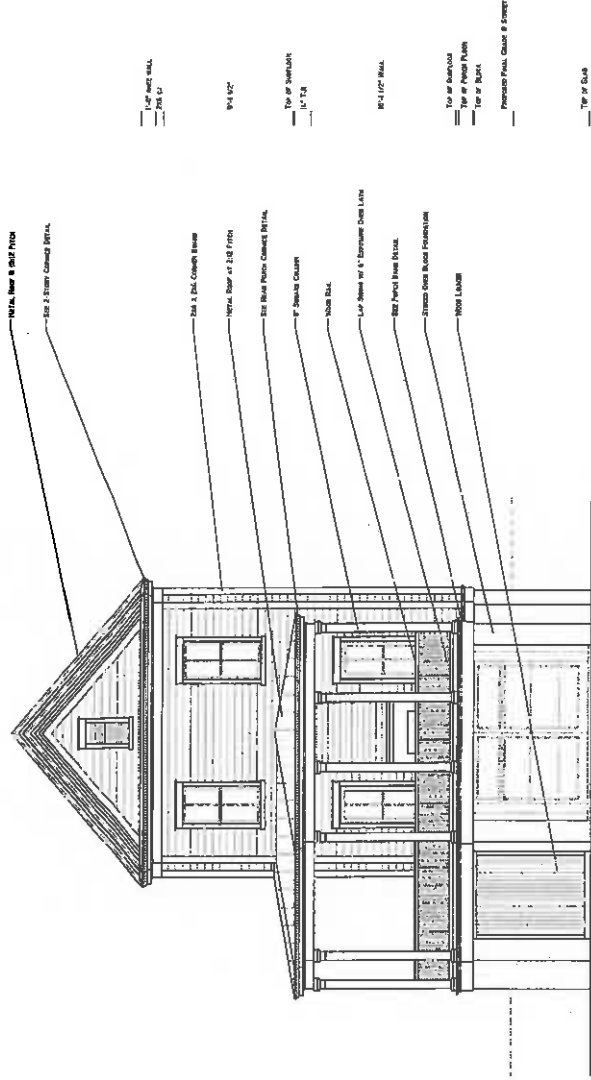
SECOND FLOOR PLAN
HP 114

A203

RESIDENCE
LOT 20, MOSS LANDING
WASHINGTON, N.C.

CLARKE
DESIGN GROUP
ARCHITECTS
2111 E. 10TH ST.
WILKINSON, NC 27686
TEL: (919) 751-1100
FAX: (919) 751-1101

SOUTH ELEVATION
SCALE: 1/4" = 1'



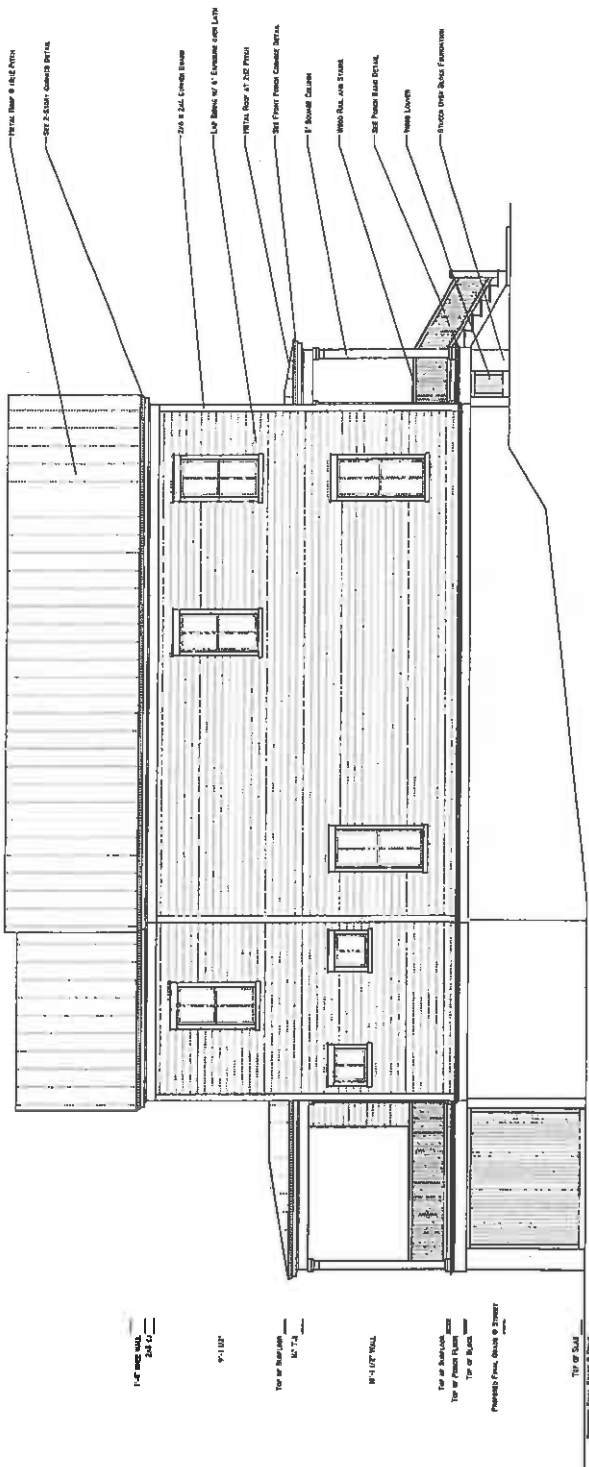
A204

RESIDENCE
LOT 20, MOSS LANDING
WASHINGTON, N.C.

DESIGN CHART
CLARK
1900 JAMES STREET, SUITE 200
FARMINGTON, CT 06030
TEL: 860-646-1111
FAX: 860-646-1112

REVISIONS
1. Notes
2. Notes
3. Notes

EAST ELEVATION
SCALE 1/4" = 1'



1st Floor Front Gabled Entry

2nd Floor Front Gabled Entry

1st Floor Front Gabled Entry

2nd Floor Front Gabled Entry

1st Floor Front Gabled Entry

2nd Floor Front Gabled Entry

1st Floor Front Gabled Entry

2nd Floor Front Gabled Entry

1st Floor Front Gabled Entry

2nd Floor Front Gabled Entry

1st Floor Front Gabled Entry

2nd Floor Front Gabled Entry

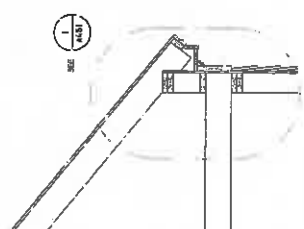
1st Floor Front Gabled Entry

2nd Floor Front Gabled Entry

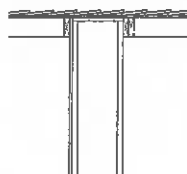
1st Floor Front Gabled Entry

2nd Floor Front Gabled Entry

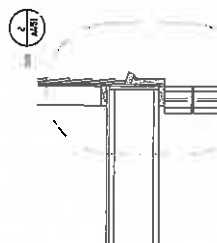
2-STORY WALL SECTION
SCALE: 3/2" = 1'



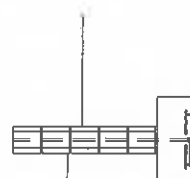
9'-1 1/2"

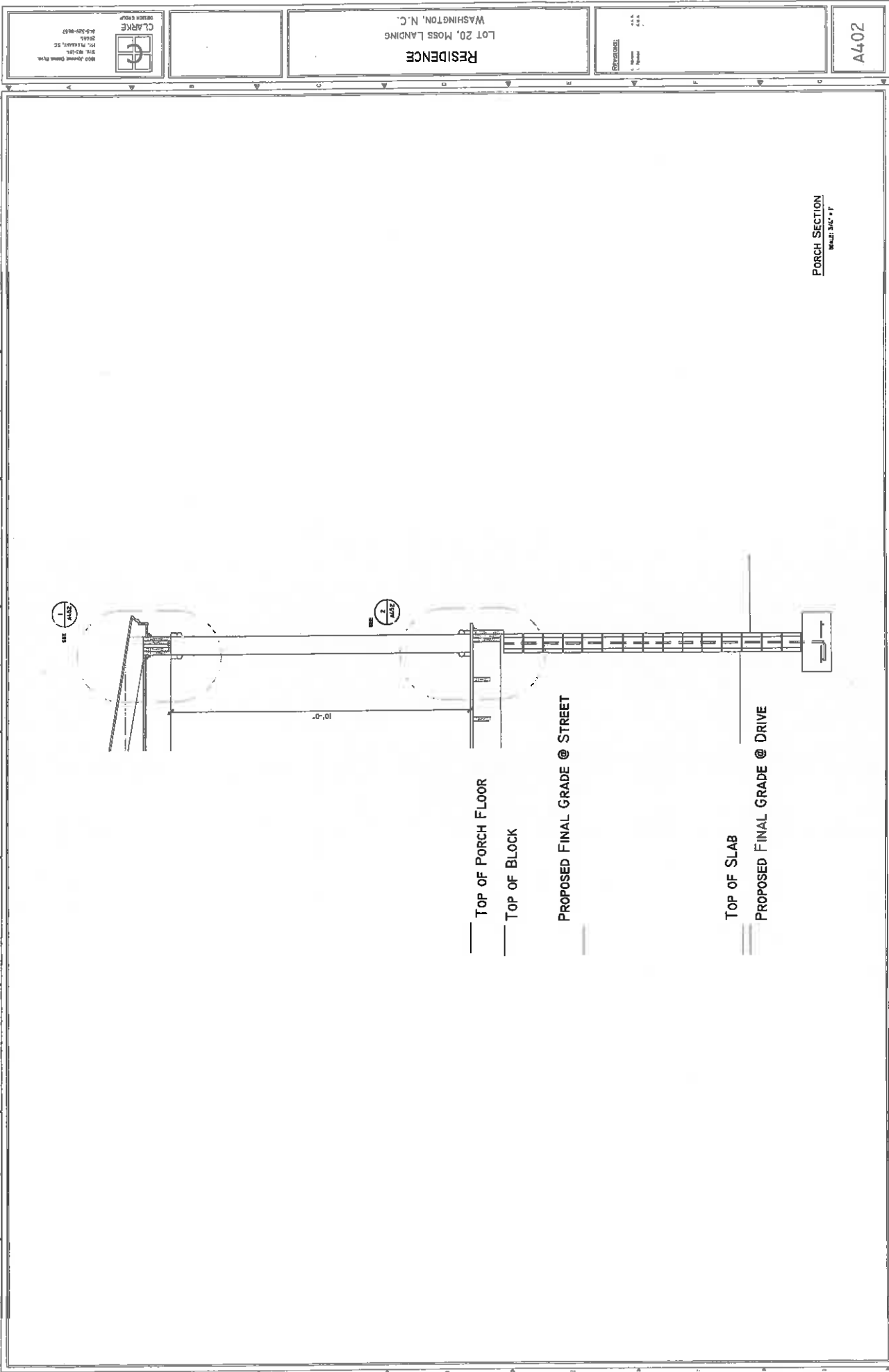


10'-1 1/2" WALL

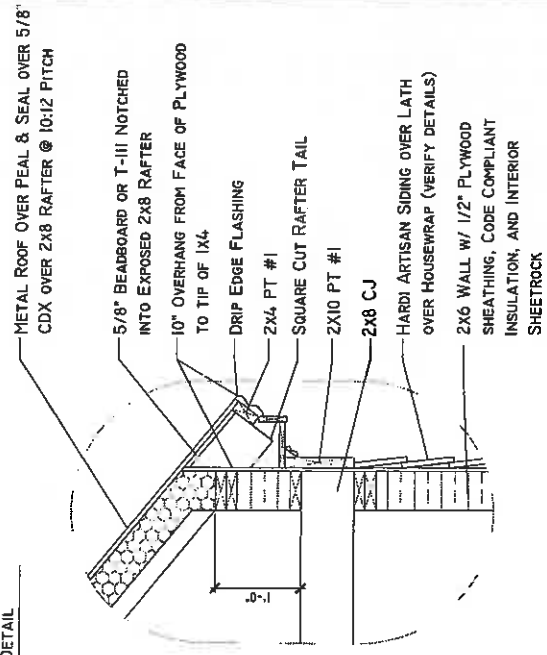


PROPOSED FINAL GRADE @ STREET

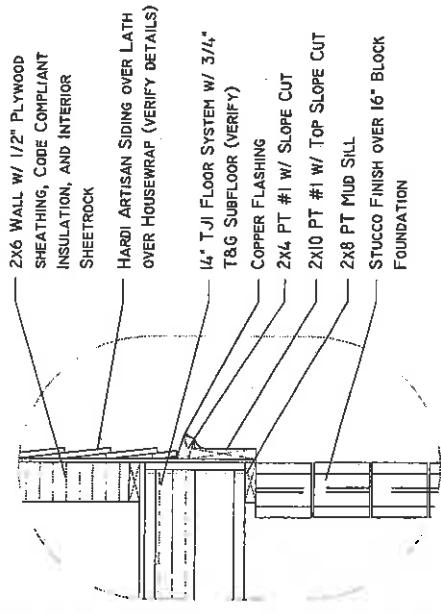




1
A451
2-STORY CORNICE DETAIL
SCALE: 1 1/2" = 1'



2
A451
2-STORY CORNICE DETAIL
SCALE: 1 1/2" = 1'



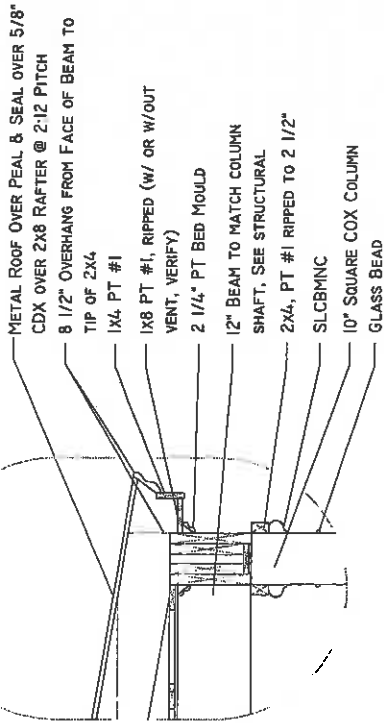
NOTES

1. VERIFY ALL FOUNDATION DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
2. VERIFY ALL FRAMING DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
3. VERIFY ALL HOLDDOWN / SHEARWALL DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
4. CONTRACTOR RESPONSIBLE FOR ALL WATERPROOFING AND WATER MANAGEMENT DETAILS.
5. REFER TO STRUCTURAL DRAWING FOR ALL FRAMING DETAILS AND DIMENSIONS.

1 PORCH CORNICE DETAIL

SCALE: 1 1/2" = 1'

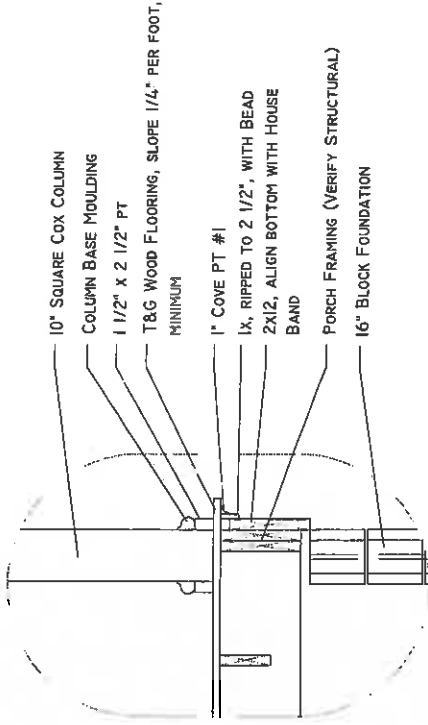
A453



2 PORCH CORNICE DETAIL

SCALE: 1 1/2" = 1'

A452



NOTES

1. VERIFY ALL FOUNDATION DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
2. VERIFY ALL FRAMING DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
3. VERIFY ALL HOLDDOWN / SHEARWALL DETAILS PER LOCAL CODES AND / OR PROFESSIONAL ENGINEER.
4. CONTRACTOR RESPONSIBLE FOR ALL WATERPROOFING AND WATER MANAGEMENT DETAILS.
5. REFER TO STRUCTURAL DRAWING FOR ALL FRAMING DETAILS AND DIMENSIONS.

Adjacent Property Owners – Moss Landing – Harbour Homes

Jim Nance
PO Box 2247
Washington, NC 27889

Stan Friedman
401 Moss Way Ste 301
Washington, NC 27889

Vickie Dotson
620 Duck Creek Rd
Washington, NC 27889

Moss Property Partners
1589 West 5th Street
Washington, NC 27889

Ms. Dee Congleton
210 Water Street
Washington, NC 27889

Herman Gaskins Jr.
PO Box 933
Washington, NC 27889

NC Estuarium
223 E. Water Street
Washington, NC 27889

Joe & May-I Taylor
200 Water Street
Washington, NC 27889

Charlie Hough
201 S. Academy Street
Washington, NC 27889

William Toler
224 Water Street
Washington, NC 27889

Rebecca Clark
203 S. Academy Street
Washington, NC 27889

Richard H. Hodges
1537 Craig Street
Greenville, NC 27834

Litchfield Holdings, LLC
135 Harbor Road
Washington, NC 27889

Dianna Aideuis
122 S. Harvey Street
Washington, NC 27889

William Henry Jr.
217 Mallard Lane
Newport News, Va. 23605

A.L. Crisp
122 S. Academy Street
Washington, NC 27889

Charlotte N. Mason
119 S. Harvey Street
Washington, NC 27889

Steven Radar
113 S. Harvey Street
Washington, NC 27889

Maurice M. Bridgeman
204 Yukon Street
Hampton, Va. 23663

Walter T. Hannah
1721 Anderson Street
Wilson, NC 27893

William W. Moore Jr.
2517 Crown Court
Panama City, Fl. 32405

Margaret Gray Howdy
326 Water Street
Washington, NC 27889

Steve Gallo
300 Southberry Wynd
Greenville, NC 27834

Gary Shippy
109 Sonoma Valley Drive
Cary, NC 27518

Jeffrey Davis
315 Yadkin Drive
Raleigh, NC 27609

Steven Ballard
605 East 5th Street
Greenville, NC 27858

Dennis P. Kane
PO Box 1197
Island Heights, NJ 08732

Arthur Tyndall
110 S. Harvey Street
Washington, NC 27889

Cheryl V. Vaughn
210 S. Academy Street
Washington, NC 27889

John R. Rice
211 S. Academy Street
Washington, NC 27889

Dorothy Wheeler
512 Hickory Woods Way
Antioch, TN 37013

July 23, 2014

Subject: Certificate of Appropriateness – Moss Landing – Lots #19 & #20

Dear Adjoining Property Owner,

Whenever exterior renovation work is being conducted in the Washington Historic District, all property owners within 100 feet of the proposed construction activities and adjacent property owners are required to be notified by the City of Washington. According to the application submitted by Moss Landing and Beacon Street Development your property is located adjacent to the above subject property. A request has been made by Beacon Street for a Certificate of Appropriateness to construct two (2) new single family dwellings on the property located on Lots #19 & #20 on East Water Street.

You are welcome and encouraged to attend the regular scheduled meeting of the Washington Historic Commission. Please note the following date, time, and place:

Date: Tuesday, August 5, 2014

**Place: City Hall - Municipal Building, 102 East Second Street.
Enter from the Market Street side of the building and go to
the second floor. City Council Chambers.**

Time: 7:00 P.M.

During the meantime, should you have any questions, please direct your inquiries to Mr. John Rodman, Planning and Development, by phoning 975-9384 during normal working hours Monday through Friday, 8:00 A.M. to 5:00 P.M.

Sincerely,

John Rodman

John Rodman
Planning and Development

REQUEST FOR COMMISSION ACTION

To: Historic Preservation Commission

From: John Rodman, Planning and Development

Re: Lot #20 Moss Landing Homes – Construction of a single family dwelling

A request has been made by Mr. Jim Wiley of Beacon Street Development for a Certificate of Appropriateness to construct a new single family dwelling on the property located at Lot #20 Moss Landing Homes. Please review the Design Guidelines, specifically Section 5.0 New Construction Chapter 5.2 Residential Construction.

To grant such a request, the Historic Preservation Commission must make findings of fact, which are included in the sample motions below. Any conditions the Commission feels appropriate may be attached to the motion.

Possible Actions

I move that the Historic Preservation Commission grant a Certificate of Appropriateness to Mr. Jim Wiley of Beacon Street Development to construct a new single family dwelling on the property located at Lot #20 Moss Landing Homes. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically Section 5.0 New Construction Chapter 5.2 Residential Construction.

or

I move that the Historic Preservation Commission grant a Certificate of Appropriateness to Mr. Jim Wiley of Beacon Street Development to construct a new single family dwelling on the property located at Lot #20 Moss Landing Homes. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically Section 5.0 New Construction Chapter 5.2 Residential Construction. I further move that the Historic Preservation Commission place the following conditions on the approval:

or

I move that the Historic Preservation Commission deny a Certificate of Appropriateness to Mr. Jim Wiley of Beacon Street Development to construct a new single family dwelling on the property located at Lot #20 Moss Landing Homes. This motion is based on the following findings of fact: the application is not congruous with the Historic Preservation Commission Design Guidelines, specifically Section 5.0 New Construction Chapter 5.2 Residential Construction.

423 East Second Street

Ms. Shirley Stokes

Install Hand Rails at Front Porch Steps

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission
Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please use Black Ink

Street Address of Property: 423 East Second St.

Historic Property/Name (if applicable): Pickles House

Owner's Name: Shirley D. Stokes

Lot Size: 100 feet by 250 feet.
(width) (depth)

Brief Description of Work to be Done:

Addition of wooden railing front porch steps, safety concerns
Replacement of cracked cement front walk.

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

Office Use Only	
(Date Received)	(Initials)
ACTION	
<input type="radio"/> Approved	_____
<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

(Name of Applicant - type or print)

(Mailing Address) (Zip Code)

(Date) (Daytime Phone Number)

(Signature of Applicant)

Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____. Issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.) (Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.

Dirks Chiropractic

Email: dirkschiro@hotmail.com

**360 Cherry Run Center
Washington, NC
Tel: (252) 362-0189
Fax: (252) 495-0032**

**216 Main Street
Winterville, NC 28590
Tel: (252) 751-0660
Fax: (252) 751-0658**

June 17, 2014

RE: Shirley Stokes
423 East 2nd Ave
Washington, NC 27889
DOB: 06-04-1936

To Whom It May Concern:

Shirley Stokes is a pleasant 77 year old lady who has been a patient at my office for over 10 years with past health history of degenerative disc / joint disease in her spine, fibromyalgia, optic neuritis, hip greater trochanteric bursitis and post poliomyelitis. Her ability to climb up and down her front stairs safely has been increasingly impaired without a safety railing.

Since slips and falls become a major factor for disabling injuries for senior citizens, I have recommended she have a safety railing installed for the front steps of her home to prevent falls and injuries.

THC



VIDANT HEALTHTM

Vidant Family Medicine -
Washington
501 West 15th Street
Washington NC 27889-3565
Phone: 252-975-2667
Fax: 252-975-2507

6/11/2014

Re: Shirley Dolores Stokes
DOB: 6/4/1936
MRN: 148852

Dear City of Washington:

Shirley Stokes NEEDS to have handrails at her house. Stairs in the geriatric population (over age 65) that LACK handrails present a significant health risk. It is a question that I screen for at yearly visits. It is a medical/health safety issue and the town should support this change.

Sincerely,

Jessica Triche, MD
VIDANT FAMILY MEDICINE - WASHINGTON



VIDANT HEALTH™

Vidant Family Medicine -
Washington
501 West 15th Street
Washington NC 27889-3565
Phone: 252-975-2667
Fax: 252-975-2507

6/11/2014

Re: Shirley Dolores Stokes
DOB: 6/4/1936
MRN: 148852

Dear City of Washington:

Shirley Stokes NEEDS to have handrails at her house. Stairs in the geriatric population (over age 65) that LACK handrails present a significant health risk. It is a question that I screen for at yearly visits. It is a medical/health safety issue and the town should support this change.

Sincerely,


Jessica Triche, MD
VIDANT FAMILY MEDICINE - WASHINGTON

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission
Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please use Black Ink

Street Address of Property: 423 East Second St.
Historic Property/Name (if applicable): Pickles House
Owner's Name: Shirley D. Stokes
Lot Size: 100 feet by 250 feet.
(width) (depth)

Brief Description of Work to be Done:

Addition of wooden railing front porch steps & safety concrete
Replacement of cracked cement front walk.

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

Office Use Only	
(Date Received)	(Initials)
ACTION	
<input type="radio"/> Approved	
<input type="radio"/> Approved with Conditions	
<input type="radio"/> Denied	
<input type="radio"/> Withdrawn	
<input type="radio"/> Staff Approval	

(Name of Applicant - type or print)

(Mailing Address) (Zip Code)

(Date) (Daytime Phone Number)

Signature of Applicant

Dirks Chiropractic

Email: dirkschiro@hotmail.com

**360 Cherry Run Center
Washington, NC
Tel: (252) 362-0189
Fax: (252) 495-0032**

**216 Main Street
Winterville, NC 28590
Tel: (252) 751-0660
Fax: (252) 751-0658**

June 17, 2014

RE: Shirley Stokes
423 East 2nd Ave
Washington, NC 27889
DOB: 06-04-1936

To Whom It May Concern:

Shirley Stokes is a pleasant 77 year old lady who has been a patient at my office for over 10 years with past health history of degenerative disc / joint disease in her spine, fibromyalgia, optic neuritis, hip greater trochanteric bursitis and post poliomyelitis. Her ability to climb up and down her front stairs safely has been increasingly impaired without a safety railing.

Since slips and falls become a major factor for disabling injuries for senior citizens, I have recommended she have a safety railing installed for the front steps of her home to prevent falls and injuries.

If you need any additional information, please contact my office.



Dr. David Dirks, DC
DRD/am







ADDRESS: 423 E. 2nd Street

TAX PARCEL NUMBER: 5685-07-4320

CONTRIBUTING: Yes

CONTRIBUTING NUMBER: 336

NON-CONTRIBUTING NUMBER:

CURRENT OWNER: Shirley D Stokes

FLOOD ZONE: Yes

SQUARE FOOTAGE OF STRUCTURE:

WINDOW STYLE: upstairs: downstairs:

DOOR STYLE:

ROOF MATERIAL: Tin

DESCRIPTION: Pickles House – Notable mid to late 19th century frame house with Italianate detail. Molded and segmental arched window openings, bracketed cornice, pyramidal roof entrance with sidelights and transom, 1920s porch with molded detail, Colonel Revival style trim.

OTHER FEATURES: (i.e. fences, accessory building, etc.): Shed- 16 x 24

REQUEST FOR COMMISSION ACTION

To: Historic Preservation Commission

From: Jennifer Brennan, Planning & Development

Re: The owner of 423 East Second Street has submitted a request to install hand rails on the front steps of the porch.

A request has been made by Shirley Stokes to install a hand rails to front steps off the porch on the property located at 423 East Second Street. To grant such a request, the Historic Preservation Commission must make findings of fact, which are included in the sample motions below. Any conditions the Commission feels appropriate may be attached to the motion.

Possible Actions

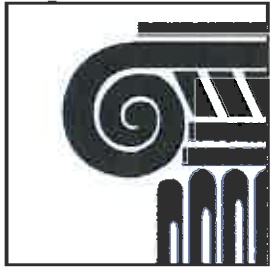
I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Ms. Stokes to add wood railings on the front porch steps of the property located at 423 East Second Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 3.6 Changes to Existing Buildings – Porches and Entryways**.

Or

I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Ms. Stokes to add wood railings on the front porch steps of the property located at 423 East Second Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 3.6 Changes to Existing Buildings – Porches and Entryways**. I further move that the Historic Preservation Commission **place the following conditions** on the approval:

Or

I move that the Historic Preservation Commission **deny a Certificate of Appropriateness** to Ms. Stokes to add wood railings on the front porch steps of the property located at 423 East Second Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 3.6 Changes to Existing Buildings – Porches and Entryways**.



CITY OF WASHINGTON

DOWNTOWN DEVELOPMENT □ HISTORIC PRESERVATION

Subject: Certificate of Appropriateness – 423 East Second Street

Dear Adjoining Property Owner,

Whenever exterior renovation work is being conducted in the Washington Historic District all property owners within 100 feet of the proposed construction activities are required to be notified by the City of Washington. According to the application submitted by the City of Washington, your property is located within 100 feet of the above referenced property.

A request has been made by the owner of 423 East Second Street to build hand rails at the steps of the front porch.

If you would like to see plans for this work, please visit the City Planning Office prior to the meeting. Additionally, the full application is available on the city website.

You are welcomed and encouraged to attend the regularly scheduled meeting of the Washington Historic Commission. Please note the following date, time, and place:

Date: Tuesday August 5, 2014

Place: City Hall - Municipal building, 102 East Second Street. Enter from the Market Street side of the building and go to the second floor.

Time: 7:00 PM

In the meantime, should you have any questions please feel free to contact me.

Sincerely,

Jennifer Brennan
Community Development Planner
252-946-0897
jbrennan@washingtontnc.gov

Adjoining Property Owners: 423 East Second Street

- Ford Freeman
100 Riverside Dr. Apt. 2
Washington, NC 27889
- Timothy Crompton
421 E. Second Street
Washington, NC 27889
- Attila Nemecz
415 East Second Street
Washington, NC 27889
- Margaret Poston
8770 N. Cumberland Circle
Germantown, TN 38139
- Carolyn Ganley
506 Park Ave.
Goldsboro, NC 27530
- Daniel Pimental
PO Box 2368
Teaticket, MA 02536
- Carolyn Wilberscheid
424 East Second Street
Washington, NC 27889
- Thomas Penders
102 Mockernut Lane
Washington, NC 27889
- Benjamin Askin
4 Laetitia Lane
Landenberg, PA 19350
- Mary Chapman
432 East Second Street
Washington, NC 27889
- John Lee Baugher
414 East Second Street
Washington, NC 27889

755 West Second Street

Scott and Mary Pat Musselman

Install Hand Rails to Front Porch Steps

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission
Washington, NC

*work being done by
The Meeks Group, Inc.
1603 Longwood Drive
Greenville, NC
27858

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please use Black Ink

Street Address of Property:

155 W. 2nd Street

252-321-7928

Historic Property/Name (if applicable):

Owner's Name:

Scott and Mary Pat Musselman

Lot Size:

_____ feet

by

_____ feet.

(width)

(depth)

Brief Description of Work to be Done:

Construct a short rail with one post on each side of the front porch at 155 W. 2nd St. in Washington, NC. The details will match the existing porch rails. This includes the post, post cap, rail top and bottom and pickets. The post will have a cap with a similar detail as the ones on the adjacent columns. Rails to be less than 3' long. New rails and posts will be painted by owner.

of the steps at the

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

Office Use Only	
(Date Received)	(Initials)
ACTION	
<input type="radio"/> Approved	_____
<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

Scott and Mary Pat Musselman
(Name of Applicant - type or print)

155 W. 2nd Street Washington, NC
(Mailing Address) (Zip Code) 27889

July 585 233 3744
(Date) (Daytime Phone Number)

Mary Patricia Musselman
(Signature of Applicant)

Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____. Issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.)

(Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.

27671A



Gorgeous Cottage



Jasmine Trellis



Screened Porch



Garden Shed and Yard



ADDRESS: 755 W. 2nd Street

TAX PARCEL NUMBER: 5675-59-5838

CONTRIBUTING: Yes

CONTRIBUTING NUMBER: 401 **NON-CONTRIBUTING NUMBER:**

CURRENT OWNER: Joseph Blalock

FLOOD ZONE: Yes

SQUARE FOOTAGE OF STRUCTURE: 1794

WINDOW STYLE: upstairs: 2/2 downstairs: same

DOOR STYLE: 5 Panel Colonial

ROOF MATERIAL: Tin

DESCRIPTION: 2-Story early 20th c. plain frame house with chamfered porch posts, sawn detail.

OTHER FEATURES: (i.e. fences, accessory building, etc.):





REQUEST FOR COMMISSION ACTION

To: Historic Preservation Commission

From: Jennifer Brennan, Planning & Development

Re: The owner of 755 West Second Street has submitted a request to install hand rails on the front steps of the porch.

A request has been made by Scott and Mary Pat to install a hand rails to front steps off the porch on the property located at 755 West Second Street. To grant such a request, the Historic Preservation Commission must make findings of fact, which are included in the sample motions below. Any conditions the Commission feels appropriate may be attached to the motion.

Possible Actions

I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Mr. and Mrs. Musselman to add wood railings on the front porch steps of the property located at 755 West Second Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 3.6 Changes to Existing Buildings – Porches and Entryways**.

Or

I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Mr. and Mrs. Muselman to add wood railings on the front porch steps of the property located at 755 West Second Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 3.6 Changes to Existing Buildings – Porches and Entryways**. I further move that the Historic Preservation Commission **place the following conditions** on the approval:

Or

I move that the Historic Preservation Commission **deny a Certificate of Appropriateness** to Mr. and Mrs. Musselman to add wood railings on the front porch steps of the property located at 755 West Second Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 3.6 Changes to Existing Buildings – Porches and Entryways**.



CITY OF WASHINGTON

DOWNTOWN DEVELOPMENT □ HISTORIC PRESERVATION

Subject: Certificate of Appropriateness – 755 West Second Street

Dear Adjoining Property Owner,

Whenever exterior renovation work is being conducted in the Washington Historic District all property owners within 100 feet of the proposed construction activities are required to be notified by the City of Washington. According to the application submitted by the City of Washington, your property is located within 100 feet of the above referenced property.

A request has been made by the owner of 755 West Second Street to build hand rails at the steps of the front porch.

If you would like to see plans for this work, please visit the City Planning Office prior to the meeting. Additionally, the full application is available on the city website.

You are welcomed and encouraged to attend the regularly scheduled meeting of the Washington Historic Commission. Please note the following date, time, and place:

Date: Tuesday August 5, 2014

Place: City Hall - Municipal building, 102 East Second Street. Enter from the Market Street side of the building and go to the second floor.

Time: 7:00 PM

In the meantime, should you have any questions please feel free to contact me.

Sincerely,

Jennifer Brennan
Community Development Planner
252-946-0897
jbrennan@washingtonnc.gov

Adjoining Property Owners: 755 West Second Street

- Betty Jo Brazier
140 Washington Harbour
Washington, NC 27889
- Jeffery Bennett
751 West Second Street
Washington, NC 27889
- Jeffrey Wood
747 West Second Street
Washington, NC 27889
- William Kenner
743 West Second Street
Washington, NC 27889
- Grover Sawyer
904 West Third Street
Washington, NC 27889
- Ernest Cole
PO Box 283
Chocowinity, NC 27817
- William Moore
754 West Second Street
Washington, NC 27889
- Bruce Donald
1737 Fairfax Street
Petersburg, VA 23805

324 East Second Street

Matthew and Anne Willard

Install Privacy Fence at Rear and Side Yard

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission
Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please use Black Ink

Street Address of Property: 324 E 2nd St

Historic Property/Name (if applicable): _____

Owner's Name: Anne + Matthew Willard

Lot Size: _____ feet by _____ feet.
(width) (depth)

Brief Description of Work to be Done:

Stockade fence back of property +
side - 10' gate on side

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

Office Use Only	
(Date Received)	(Initials)
ACTION	
<input type="radio"/> Approved	_____
<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

Susan Zachary
(Name of Applicant - type or print)

107 Academy Rd 27889
(Mailing Address) (Zip Code)

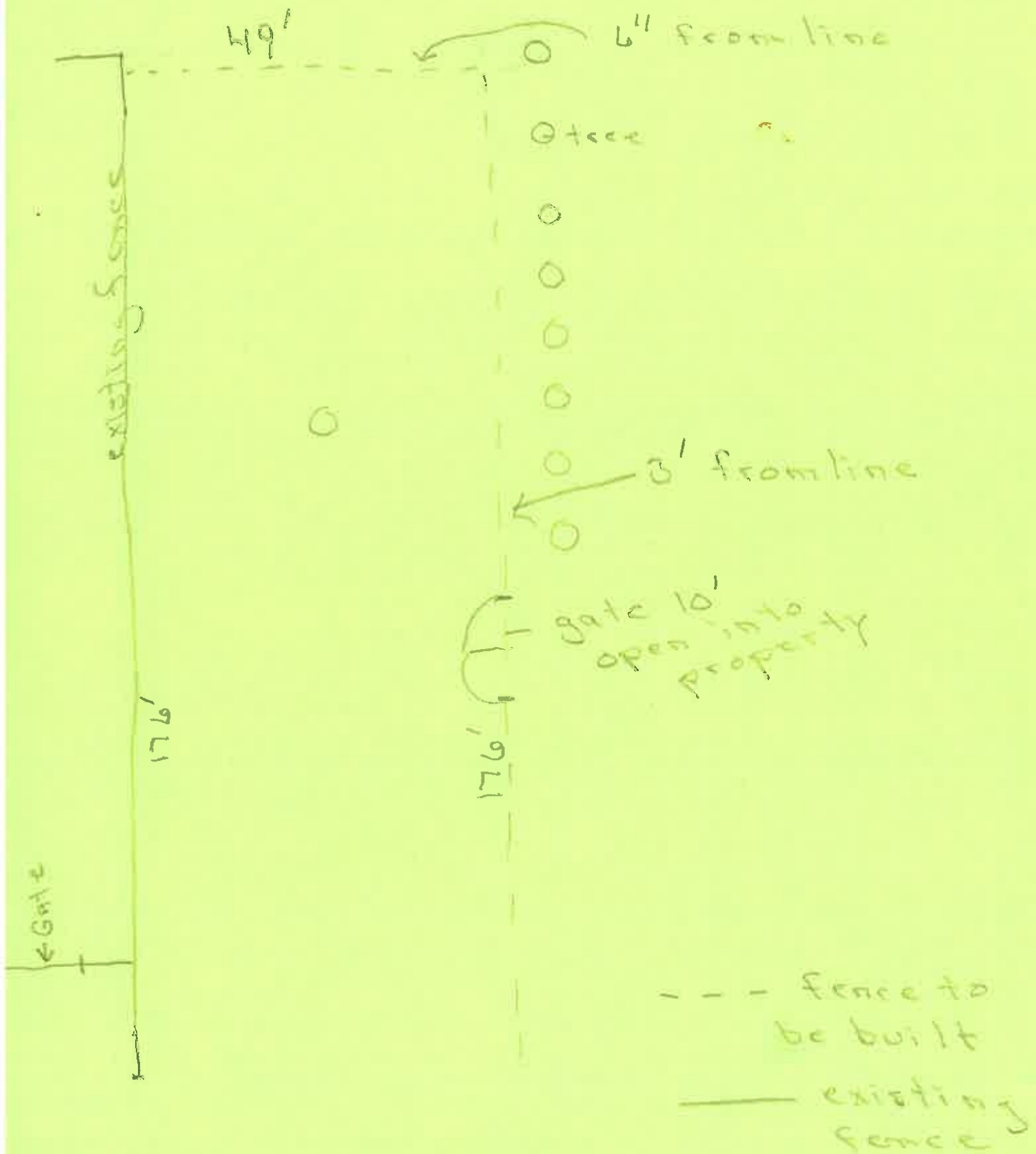
7/13/14 919 772 6845
(Date) (Daytime Phone Number)

Susan Zachary
(Signature of Applicant)

Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____. Issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.) (Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.





ADDRESS: 318 E. 2nd Street

TAX PARCEL NUMBER: 5685-07-0788

CONTRIBUTING: Yes

CONTRIBUTING NUMBER: 301 **NON-CONTRIBUTING NUMBER:**

CURRENT OWNER: Matthew & Anne Willard

FLOOD ZONE: Yes

SQUARE FOOTAGE OF STRUCTURE: 1248

WINDOW STYLE: upstairs: N/A downstairs: 1/1

DOOR STYLE: 4 Panel Colonial

ROOF MATERIAL: Tin

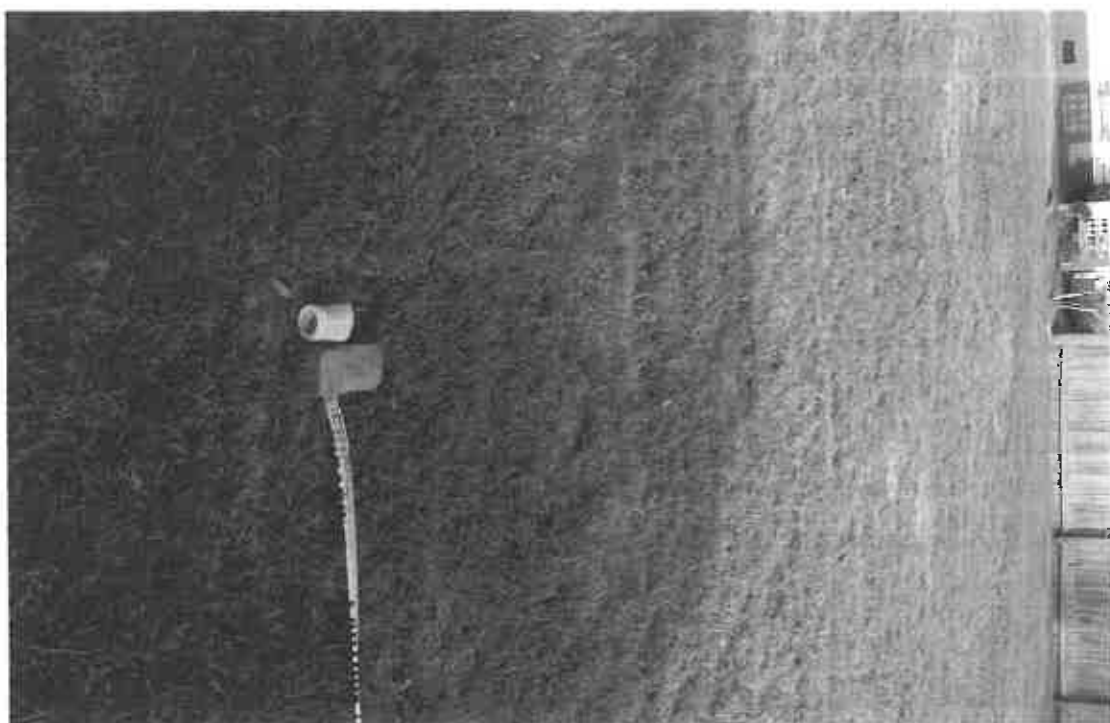
DESCRIPTION: W.P. Randolph House – 2 story late 19th century frame house. Chamfered porch posts and corner posts, hipped roof with pressed tin shingles, entrance with sidelights and transom.

OTHER FEATURES: (i.e. fences, accessory building, etc.): Storage- 1 S FR 8 x 8

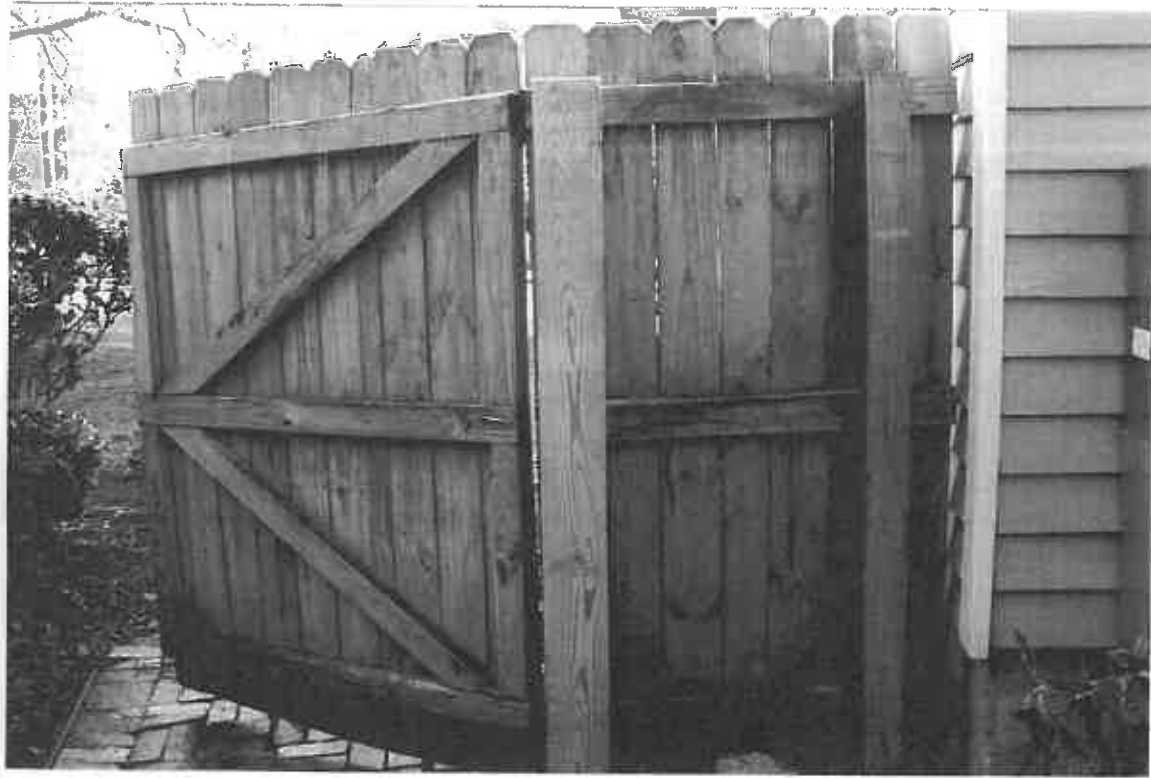












REQUEST FOR COMMISSION ACTION

To: Historic Preservation Commission

From: Jennifer Brennan, Planning & Development

Re: The owner of 324 East Second Street has submitted a request to install a privacy fence at the rear and side of the property.

A request has been made by Anne and Matthew Willard to install a 6 foot privacy fence around the rear and side yard of the property located at 324 East Second Street. To grant such a request, the Historic Preservation Commission must make findings of fact, which are included in the sample motions below. Any conditions the Commission feels appropriate may be attached to the motion.

Possible Actions

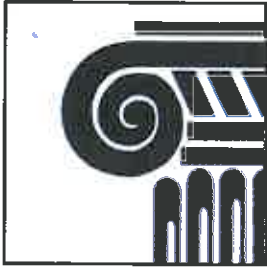
I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Mr. and Mrs. Willard to install a privacy fence around the side and rear of the property located at 324 East Second Street . This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 4.6 Streetscape and Site Design – Fences and Walls**.

Or

I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Mr. and Mrs. Willard to install a privacy fence around the side and rear of the property located at 324 East Second Street . This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 4.6 Streetscape and Site Design – Fences and Walls**. I further move that the Historic Preservation Commission **place the following conditions** on the approval:

Or

I move that the Historic Preservation Commission **deny a Certificate of Appropriateness** to Mr. and Mrs. Willard to install a privacy fence around the side and rear of the property located at 324 East Second Street . This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 4.6 Streetscape and Site Design – Fences and Walls**.



CITY OF WASHINGTON

DOWNTOWN DEVELOPMENT □ HISTORIC PRESERVATION

Subject: Certificate of Appropriateness – 324 East Second Street

Dear Adjoining Property Owner,

Whenever exterior renovation work is being conducted in the Washington Historic District all property owners within 100 feet of the proposed construction activities are required to be notified by the City of Washington. According to the application submitted by the City of Washington, your property is located within 100 feet of the above referenced property.

A request has been made by the owner of 324 East Second Street to build a privacy fence across the rear and side of the property.

If you would like to see plans for this work, please visit the City Planning Office prior to the meeting. Additionally, the full application is available on the city website.

You are welcomed and encouraged to attend the regularly scheduled meeting of the Washington Historic Commission. Please note the following date, time, and place:

Date: Tuesday August 5, 2014

Place: City Hall - Municipal building, 102 East Second Street. Enter from the Market Street side of the building and go to the second floor.

Time: 7:00 PM

In the meantime, should you have any questions please feel free to contact me.

Sincerely,

Jennifer Brennan
Community Development Planner
252-946-0897
jbrennan@washingtontnc.gov

Adjoining Property Owners: 324 East Second Street

- Paul Arnold
222 East Second Street
Washington, NC 27889
- Doris Anne Schneider
323 East Second Street
Washington, NC 27889
- First Baptist Church
113 N. Harvey Street
Washington, NC 27889
- Andrew Oliver
7530 Hurstourne Green Dr.
Charlotte, NC 28277
- First Christian Church
401 East Second Street
Washington, NC 27889

Ms. Stacey Thalmann
239 East Third Street
Rear Addition

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission
Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please use Black Ink

Street Address of Property: 239 E. 3RD ST

Historic Property/Name (if applicable): _____

Owner's Name: STACEY THALMANN

Lot Size: _____ feet by _____ feet.
(width) (depth)

Brief Description of Work to be Done:

addition to back of house. 2 story 9'-8" x 5'-4"
and 1 story screened porch 8' x 9'-8" off two story
addition. Replace all windows with vinyl (I have no
grids) or wood. *Renovate front porch. Configuration
will not change. Add deck to rear house 12'-8" x 6' one side
+ 14' other side. *Add new front door.

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

Office Use Only	
(Date Received)	(Initials)
ACTION	
<input type="radio"/> Approved	_____
<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

STACEY THALMANN
(Name of Applicant - type or print)

239 E. 3RD ST, WASHINGTON NC
(Mailing Address) (Zip Code) 27889

7/20/14 252-402-5970
(Date) (Daytime Phone Number)

Stacey Thalmann
(Signature of Applicant)

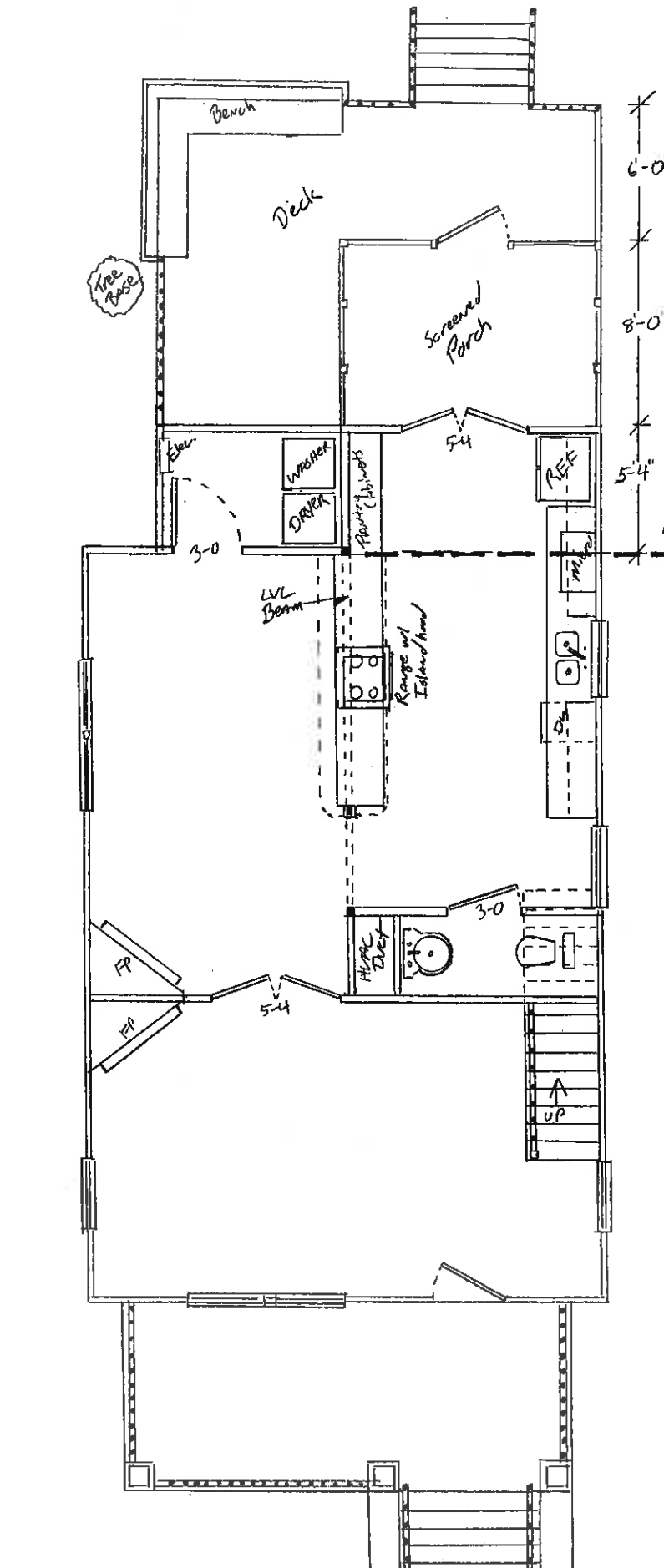
Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____. Issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.) (Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.

Rear

1st Story



Deck 175 sq. ft.
Screened Porch 72 sq. ft.

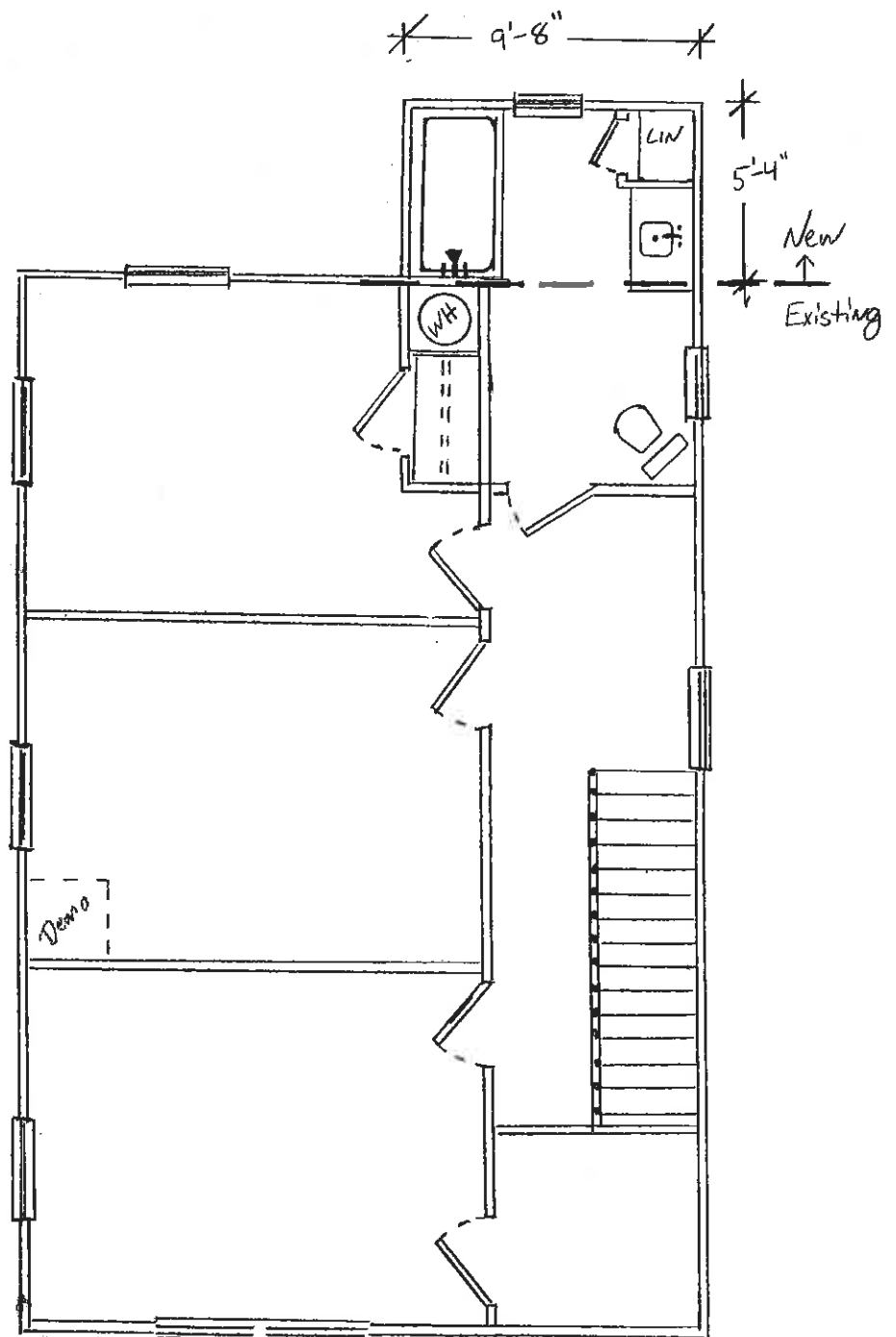
HS 1st Floor 5-0 x 17-8 = 88.3
2nd Floor 5-0 x 9-0 = 45 sq.

New
Existing

Front

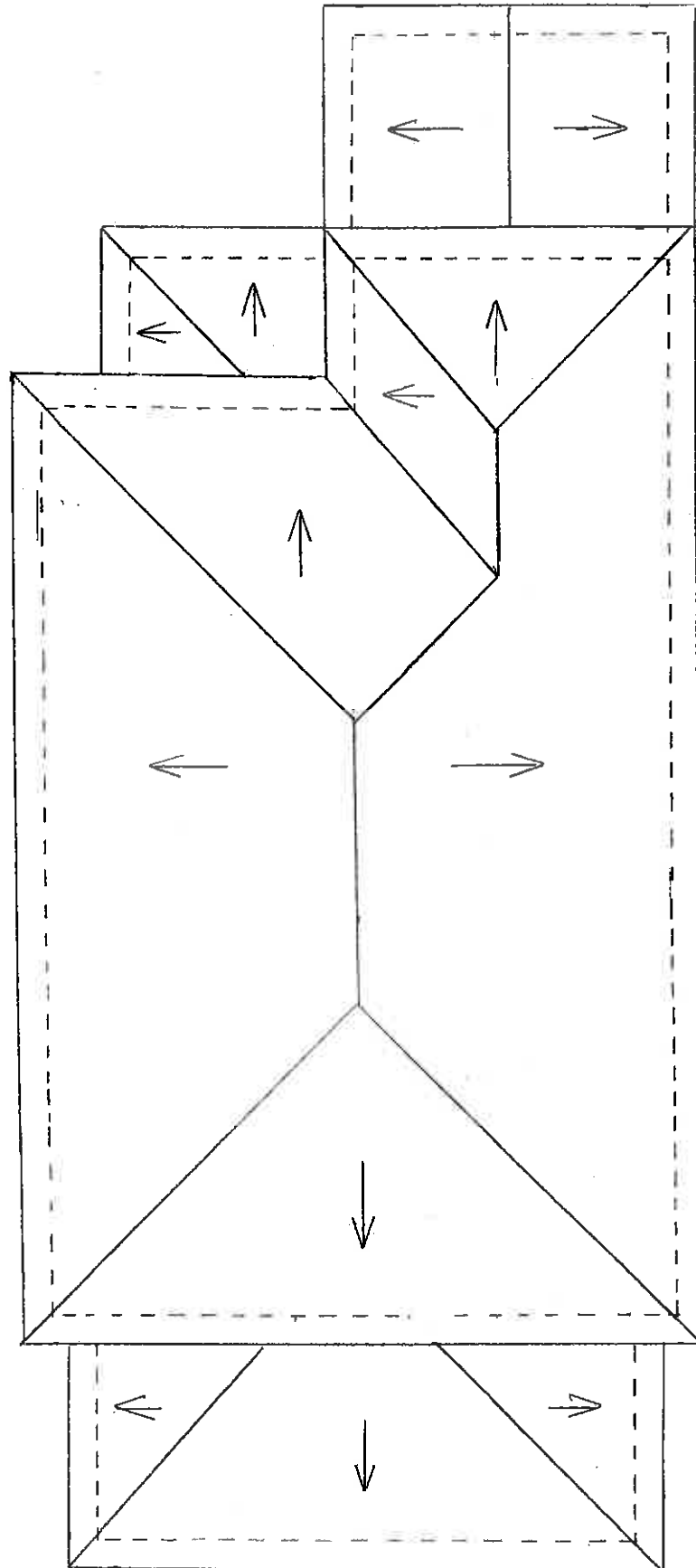
Rear

2nd Story



Front

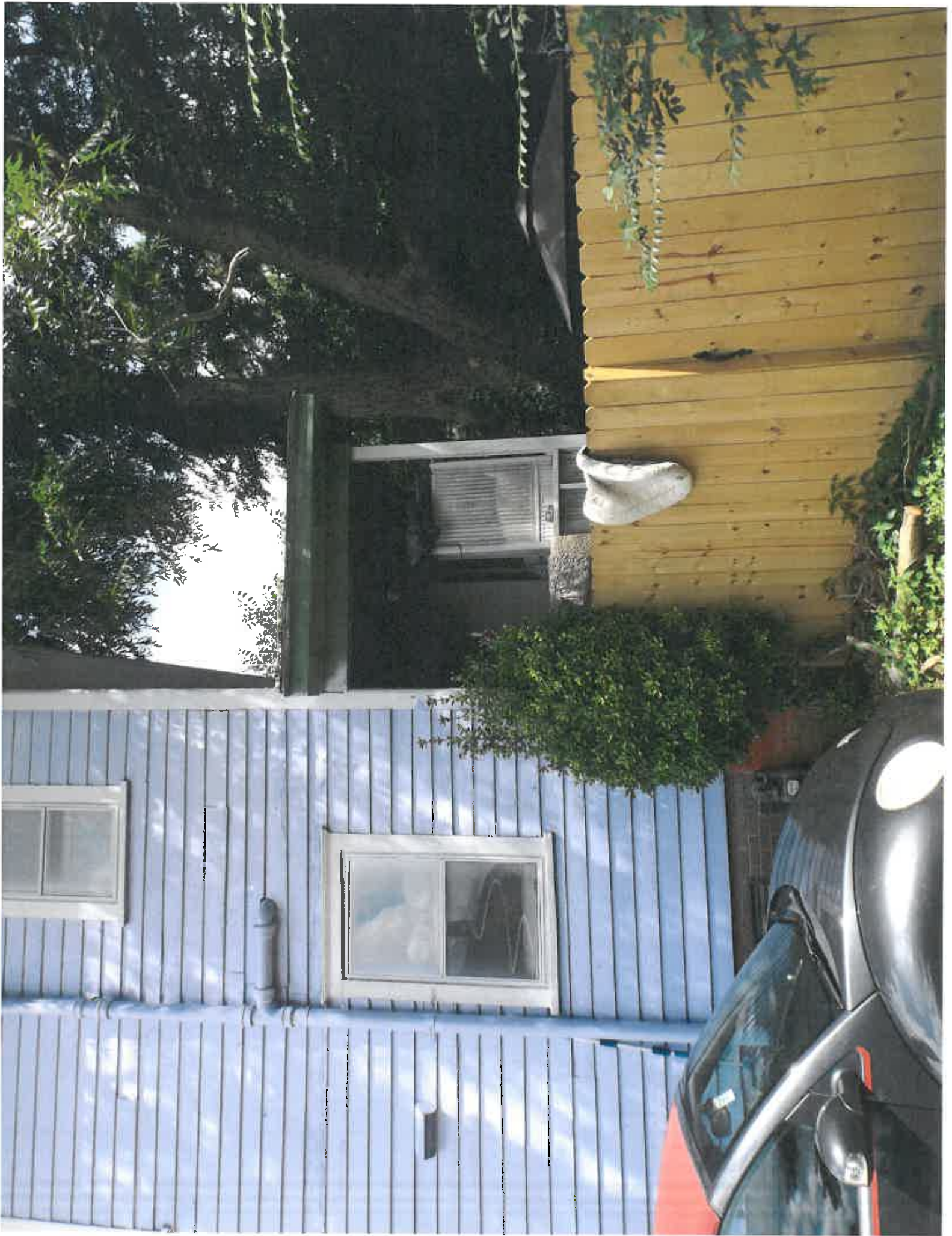
Rear



New
↑
Existing

Roof

Front







ADDRESS: 239 E 3rd St

TAX PARCEL NUMBER: 5675-98-7175

CONTRIBUTING: Yes

CONTRIBUTING NUMBER: 416

NON-CONTRIBUTING NUMBER:

CURRENT OWNER: Stacey A Thalmann

FLOOD ZONE: Yes

SQUARE FOOTAGE OF STRUCTURE: 1277

WINDOW STYLE: upstairs: 1/1 downstairs: same

DOOR STYLE: 6 Panel Colonial

ROOF MATERIAL: Asphalt Shingle

DESCRIPTION: Similar to # 415.

OTHER FEATURES: (i.e. fences, accessory building, etc.):

REQUEST FOR COMMISSION ACTION

To: Historic Preservation Commission

From: Jennifer Brennan, Planning & Development

Re: The owner of 239 East Third-Street has submitted a request to extend the rear of the property and construct a new screen porch and deck. Also install new vinyl windows on the house.

A request has been made by Stacey Thalmann to extend the rear of the house, construct a new deck and screen porch and replace all windows win new vinyl windows on the property located at 238 East Third Street. To grant such a request, the Historic Preservation Commission must make findings of fact, which are included in the sample motions below. Any conditions the Commission feels appropriate may be attached to the motion.

Possible Actions

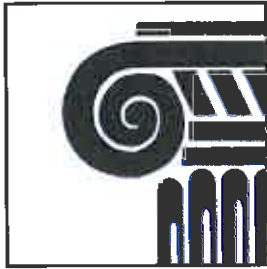
I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Ms. Thalmann to extend the rear of the property, construct a new deck and screen porch and replace all of the windows with new vinyl replacement windows on the property located at 239 East Third Street . This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 5.3 New Construction – Additions and Section 3.4 Existing Buildings -Windows**.

Or

I move that the Historic Preservation Commission **grant a Certificate of Appropriateness** to Ms. Thalmann to extend the rear of the property, construct a new deck and screen porch and replace all of the windows with new vinyl replacement windows on the property located at 239 East Third Street . This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 5.3 New Construction – Additions and Section 3.4 Existing Buildings –Windows**. I further move that the Historic Preservation Commission **place the following conditions** on the approval:

Or

I move that the Historic Preservation Commission **deny a Certificate of Appropriateness** to Ms. Thalmann to extend the rear of the property, construct a new deck and screen porch and replace all of the windows with new vinyl replacement windows on the property located at 239 East Third Street . This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically **Section 5.3 New Construction – Additions and Section 3.4 Existing Buildings –Windows**.



CITY OF WASHINGTON

DOWNTOWN DEVELOPMENT □ HISTORIC PRESERVATION

Subject: Certificate of Appropriateness – 239 East Third Street

Dear Adjoining Property Owner,

Whenever exterior renovation work is being conducted in the Washington Historic District all property owners within 100 feet of the proposed construction activities are required to be notified by the City of Washington. According to the application submitted by the City of Washington, your property is located within 100 feet of the above referenced property.

A request has been made by the owner of 239 East Third Street to build an addition on the rear of the property, as well as extend the porch to create a screen porch and deck.

If you would like to see plans for this work, please visit the City Planning Office prior to the meeting. Additionally, the full application is available on the city website.

You are welcomed and encouraged to attend the regularly scheduled meeting of the Washington Historic Commission. Please note the following date, time, and place:

Date: Tuesday August 5, 2014

Place: City Hall - Municipal building, 102 East Second Street. Enter from the Market Street side of the building and go to the second floor.

Time: 7:00 PM

In the meantime, should you have any questions please feel free to contact me.

Sincerely,

Jennifer Brennan
Community Development Planner
252-946-0897
jbrennan@washingtonnc.gov

Adjoining Property Owners: 239 East Third Street

- Theresa Nielson
3678 Oakwood Dr.
Longmont, CO 80503
- Dianna Norman
214 N. Harvey Street
Washington, NC 27889
- Alton Lassiter
224 N. Harvey Street
Washington, NC 27889
- Paulette Snow
226 N. Harvey Street
Washington, NC 27889
- Ragalia Properties
206 Worthington-Warren Rd.
Stokes, NC 27884
- Louise Farris
PO Box 501
Washington, NC 27889
- Frederick Roberson
402 Broad Creek Dr.
Washington, NC 27889
- Linyear Woolard Heirs
135 Cremona Dr.
Newport News, VA 23608
- Jose Gonzalez
228 East Second Street
Washington, NC 27889
- Joshua Stiles
232 East Second Street
Washington, NC 27889
- Joseph Wilberscheid
424 East Second Street
Washington, NC 27889

- **Whiting Toler**
238 East Second Street
Washington, NC 27889
- **Floyd Brooks**
558 Barwick Drive
Washington, NC 27889
- **Caroline Cutler**
1912 Bingham Ct.
Myrtle Beach, SC 29588

MINOR WORKS

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission
Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please use Black Ink

Street Address of Property: 325 N. Market St. Washington

Historic Property/Name (if applicable): _____

Owner's Name: Terry Hardison

Lot Size: _____ feet by _____ feet.
(width) (depth)

Brief Description of Work to be Done:

Replace A/C Condenser + Indoor Coil
Condenser going back as old but same

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

Office Use Only	
(Date Received)	(Initials)
ACTION	
<input type="radio"/> Approved	_____
<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

Roberson's Heating & Air
(Name of Applicant - type or print)
14698 W.S. Hwy 64 Williamsburg 27882
(Mailing Address) (Zip Code)
6-30-14 252-792-3006
(Date) (Daytime Phone Number)
Alana Roberson
(Signature of Applicant)

Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____. Issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.) (Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission
Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please use Black Ink

Street Address of Property: 120 W main St

Historic Property/Name (if applicable): WILLIAM JEFFERSON

Owner's Name: Big Bargain Supply

Lot Size: _____ feet by _____ feet.
(width) (depth)

Brief Description of Work to be Done:

remove 1-hanging heater;
remove 1-hanging heater;
changeout 5 ton pkg gas pack

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

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ACTION	
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<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

Roberson's Htg & A/C, Inc
(Name of Applicant - type or print) WILLIAMSTON
14698 US Hwy 64 NC 27892
(Mailing Address) (Zip Code)
07-02-2014 252-792-3006
(Date) (Daytime Phone Number)
Pamela Roberson Babbage
(Signature of Applicant)

Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____. Issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.)

(Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission
Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please use Black Ink

Street Address of Property: 603 W. Main St. Washington

Historic Property/Name (if applicable): _____

Owner's Name: Richard Mechling

Lot Size: _____ feet by _____ feet.
(width) (depth)

Brief Description of Work to be Done:

Changing out Split System go back as same as
Old Equipment

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

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ACTION	
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<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

Roberson's Heating & Air Inc
(Name of Applicant - type or print)

14698 US Hwy 64 Wilkes 27892
(Mailing Address) (Zip Code)

6-20-14 252-792-3006
(Date) (Daytime Phone Number)

Alana Roberson
(Signature of Applicant)

Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____. Issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.) (Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission
Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please use Black Ink

Street Address of Property: 218 Fleming St. Washington NC

Historic Property/Name (if applicable): _____

Owner's Name: Rodney Swan

Lot Size: _____ feet by _____ feet.
(width) (depth)

Brief Description of Work to be Done:

Change out 2.5 ton split AC For Upstairs
Unit To be Set outside on Right side of House. Like old
Unit is.

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

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(Date Received)	(Initials)
ACTION	
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<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

Roberson's Heating & Air Inc
(Name of Applicant - type or print)
14628 US Hwy 64 W. Winston NC 27892
(Mailing Address) (Zip Code)
6-13-14 252-792-3006
(Date) (Daytime Phone Number)
Alana Roberson
(Signature of Applicant)

Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____ issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.) (Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Historic Preservation Commission
Washington, NC

To: Washington Historic Preservation Commission
102 East 2nd Street
Washington, NC 27889

Please use Black Ink

Street Address of Property: Train Depot / Tourism office

Historic Property/Name (if applicable): _____

Owner's Name: City of Washington

Lot Size: _____ feet by _____ feet.
(width) (depth)

Brief Description of Work to be Done:

Install new signage for tourism office

I understand that all applications for a Certificate of Appropriateness that require review by the Historic Preservation Commission must be submitted by 5:00 p.m. on the 15th of the month prior to the meeting I wish to attend; otherwise consideration will be delayed until the following HPC meeting. An incomplete application will not be accepted. I understand approved requests are valid for one year.

Office Use Only	
(Date Received)	(Initials)
ACTION	
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<input type="radio"/> Approved with Conditions	_____
<input type="radio"/> Denied	_____
<input type="radio"/> Withdrawn	_____
<input type="radio"/> Staff Approval	_____
(Date)	(Authorized Signature)

John Wingate
(Name of Applicant - type or print)

(Mailing Address) (Zip Code)

(Date) (Daytime Phone Number)

(Signature of Applicant)

Upon being signed and dated below by the Planning Department or designee, this application becomes a Minor Works Certificate of Appropriateness. It is valid until _____. Issuance of a Minor Works Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City code or any law. Minor work projects not approved by staff will be forwarded to the Historic Preservation Commission for review at its next meeting.

(Minor Work Auth. Sig.) (Date)

Applicant's presence or that of your authorized representative is required at the meeting of the Historic Preservation Commission at which the application is to be considered. You must give written permission to your authorized representative to attend the hearing on your behalf.



Washington Tourism Development Authority

Administrative Offices



Washington Tourism Development Authority Administrative Offices

108



**Washington
Tourism
Development
Authority
Administrative Offices**



**Washington
Tourism
Development
Authority**

Administrative Offices

**Please Use
Other Door**



Mammoth Signs & Printing
Evolve inc dba Mammoth Signs & Printing
 2294-A County Home Rd
 Greenville NC 27858
 United States
 Phone: 252-364-8745
 Fax : 252-565-8901
 sales@mammothsignshop.com
 for Quote : mike@mammothsignshop.com
 www.mammothsignshop.com
 EIN # : 68-0518893
 License #: 00020987



Quote 774 - Main ID signage

Expiration Date : 07/30/2014

Quote for	Contact	Shipping/Install
Washington Tourism Development authority 108 Gladden Street Washington NC 27889	Lynn Wingate Phone : (252) 948-9415 x 2 Mobile : (252) 948-9415 Email : lynn@littlewashingtonnc.com Address : 108 Gladden Street Washington NC 27889	108 Gladden Street Washington NC 27889

Quote #	Quote Date	Sales Rep	Payment Terms	PO	PO Date
774	06/25/2014	Mike Novitski Mike@mammothsignshop.com (843) 384-6535	30 Days		

Items

#	Item	Qty	Unit Price	Disc. Price	Total (Ex. Tax)	Tax
1	DiBond - 6mm W:38.0 in. X H:18.25 in. , Single Sided REPLACES EXISTING MONUMENT PANELS White 6mm thick sign panel with premium vinyl graphics	2	\$174.16	\$174.16	\$348.32	\$24.38
2	DiBond - 6mm W:24.0 in. X H:30.0 in. , Single Sided WALL MOUNTED BY FRONT DOOR White 6mm thick sign panel with premium vinyl graphics	1	\$76.50	\$76.50	\$76.50	\$5.36
3	HANGING SIGNS W:48.0 in. X H:18.0 in. , Single Sided 1/2" MDO	2	\$100.64	\$100.64	\$201.28	\$14.09
4	Vinyl - Digital Premium Laminated W:18.0 in. X H:10.0 in. , Single Sided DOOR GRAPHICS Premium digitally printed laminated vinyl graphics with pre-mask.	1	\$45.00	\$45.00	\$45.00	\$3.15

Total

Sub Total	Setup	Misc. Charges*	Total Tax	Final Price
\$671.10	\$37.50	\$100.00	\$56.61	\$865.21

* Misc. Charges: Sign Permitting

Downpayment (0.0 %) \$0.00

Total Discount	\$63.48(7.28%)	Volume Disc.	\$11.04	Range Disc.	\$52.44
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Terms And Conditions

Payments to be made as follows:

50% deposit due before start of production. Balance due prior to delivery or installation in form of cash, check, or credit card. Credit cards by phone will require an additional 2% of balance.

Mammoth Signs & Printing reserves the right to withdraw quote if not accepted within 15 days.

for **Washington Tourism Development authority**

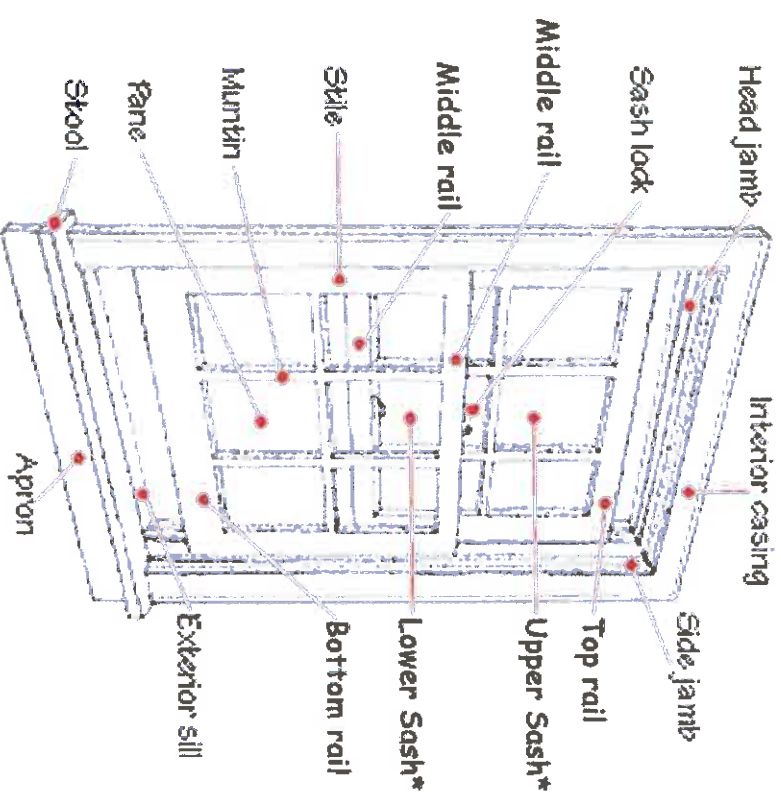
Signature

Date

We agree to your terms and conditions Please proceed with the order.

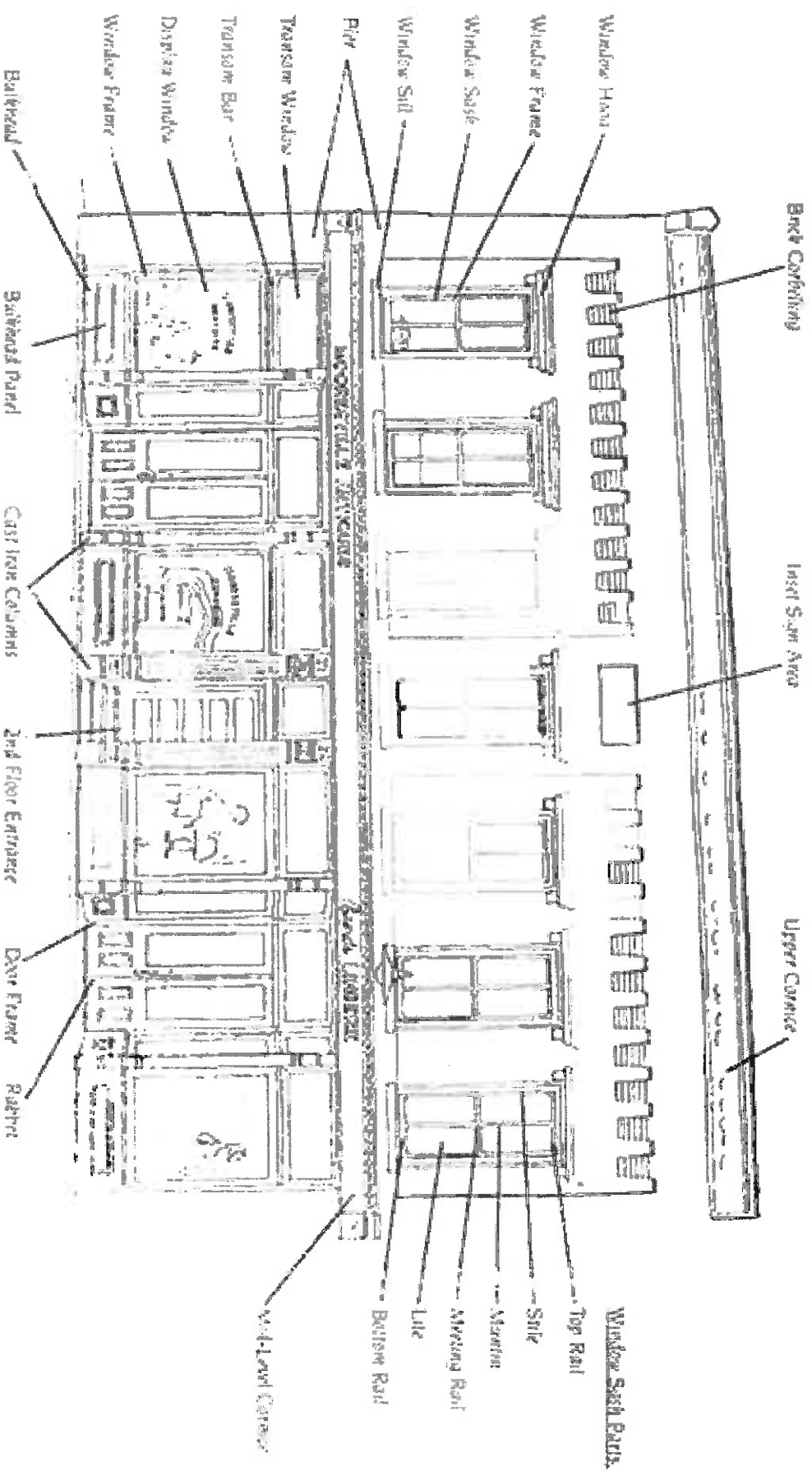
OTHER BUSINESS

Tools - Terminology



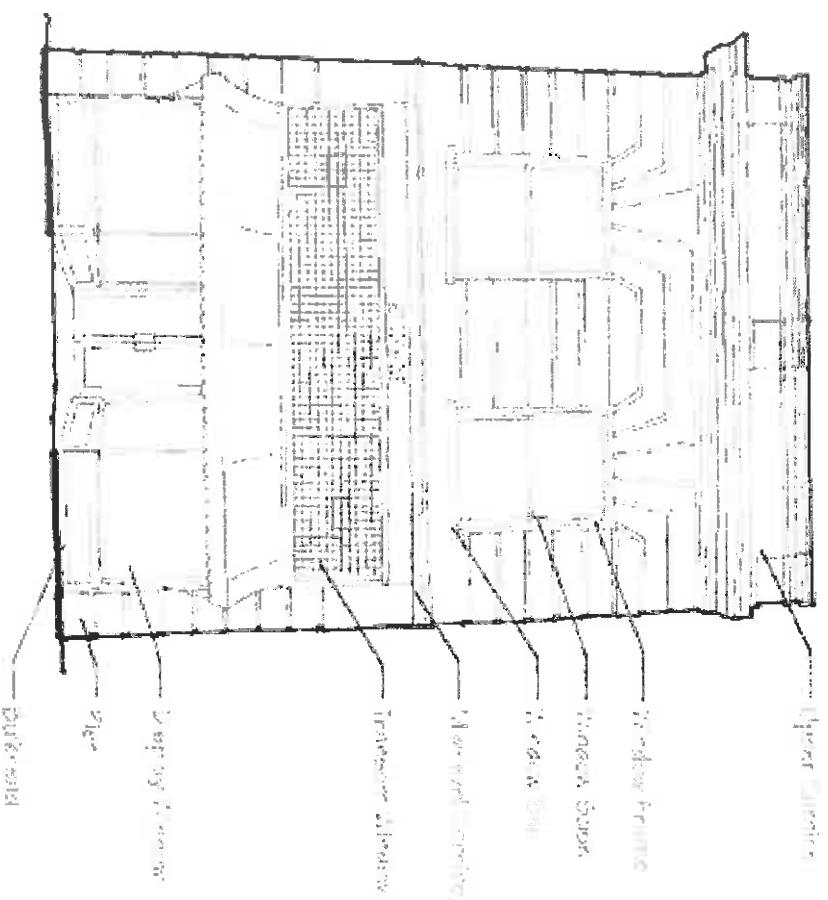
* The sash (either upper or lower) is the part of the window that moves. The sash is composed of panes, muntins, stiles and rails.

Tools - Terminology

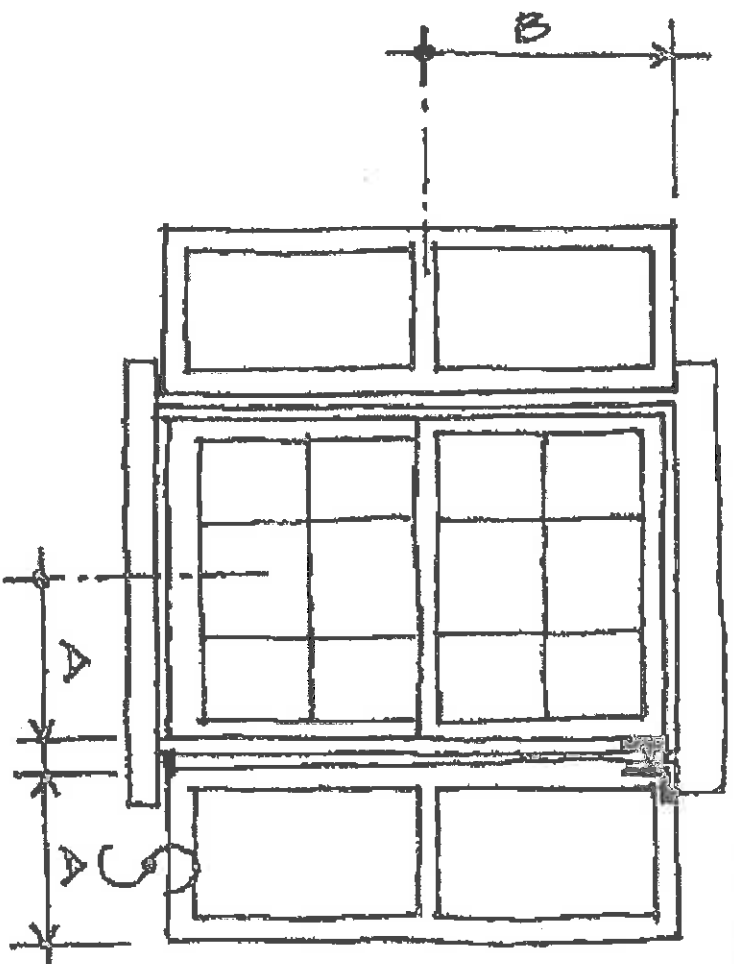


Tools - Terminology

Building Parts



APPROPRIATE MOUNTING
HARDWARE - "HL" HINGES
OR BUTTE HINGES

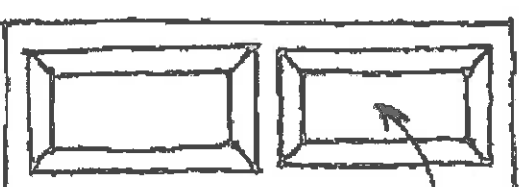


BLINDS
HAVE
FIXED OR
OPERABLE
LOUVERS



BLIND

SHUTTER



SHUTTERS
HAVE
PANELS

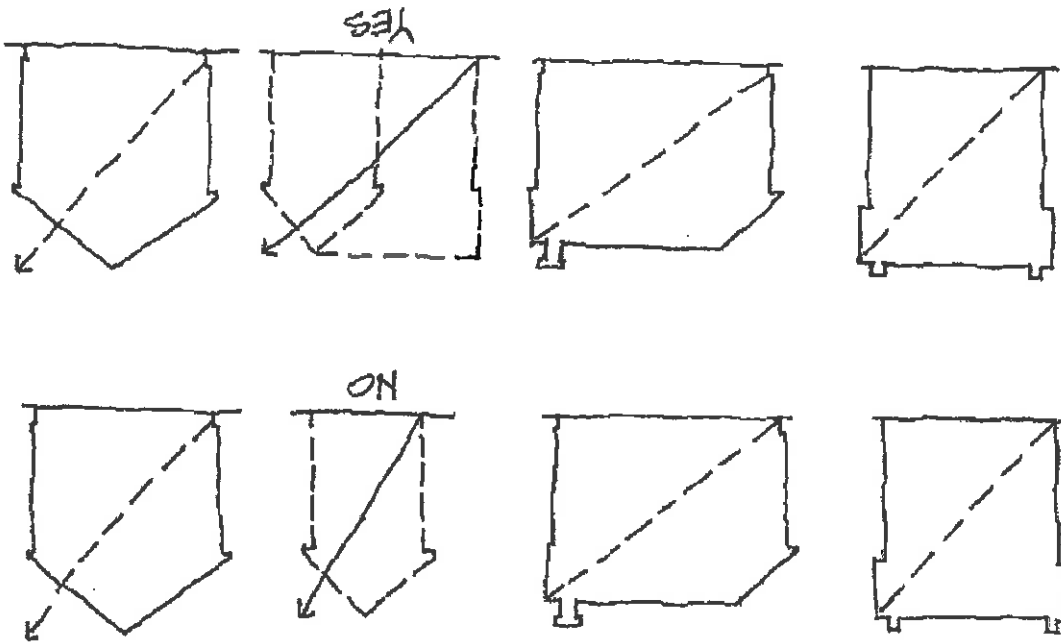
DIMENSION "A" - SHUTTER OR BLIND WIDTH SHOULD COVER $\frac{1}{2}$ OF WINDOW
OPENING IF CLOSED.

DIMENSION "B" - IF BLINDS ARE USED, LOUVER AREA SHOULD BE EQUAL
TO SASH HEIGHT. HORIZONTAL RAILS SHOULD OCCUR AT
LINE OF SASH MEETING RAILS OF WINDOW.

APPROPRIATE PROPORTIONS AND MOUNTING
OF SHUTTERS/BLINDS

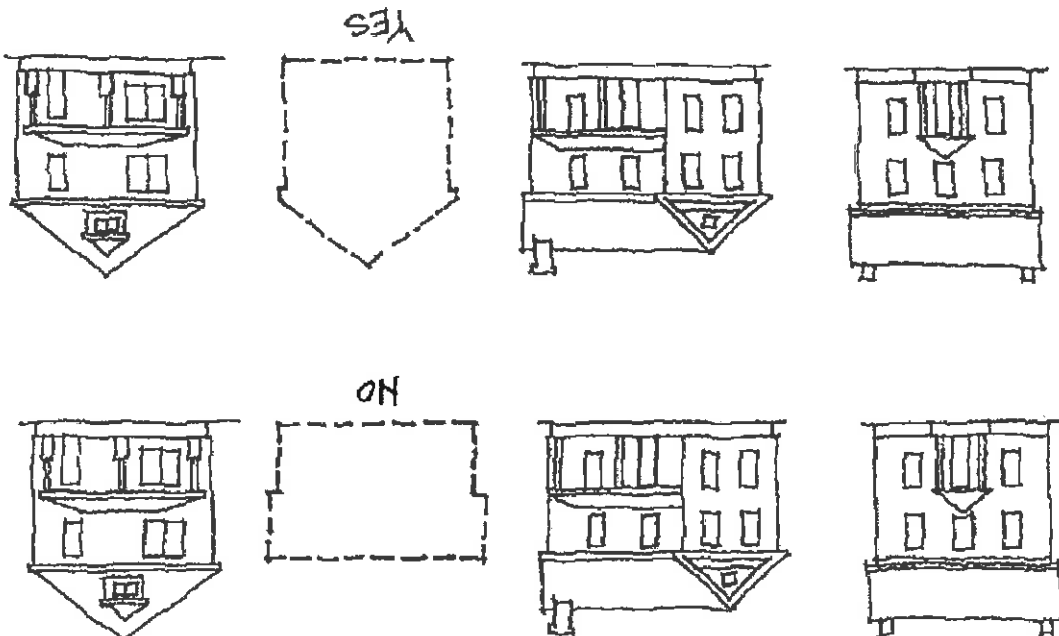
THE OVERALL PROPORTION OF NEW BUILDINGS SHOULD
BE COMPATIBLE WITH THE PROPORTIONS OF NEIGHBORING
CONTRIBUTING STRUCTURES.

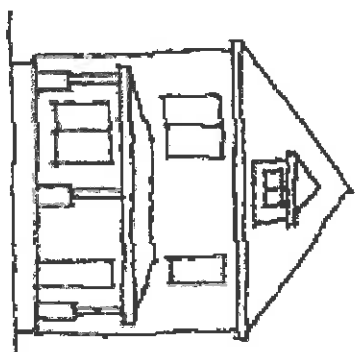
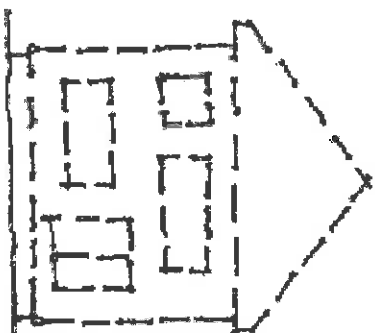
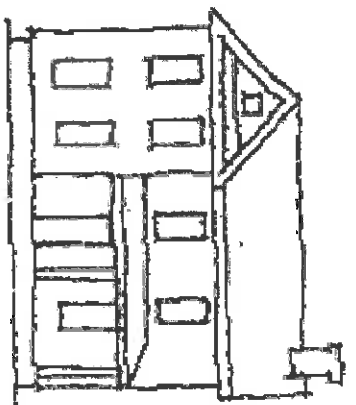
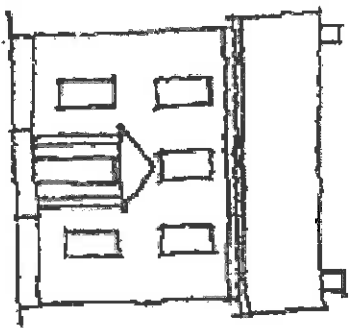
PROPORTION



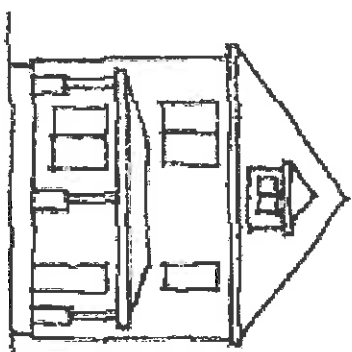
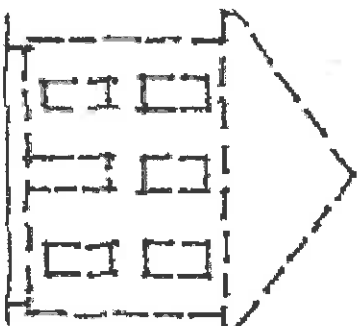
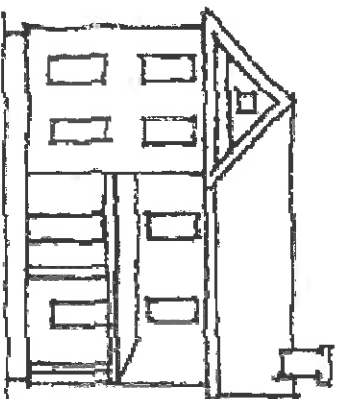
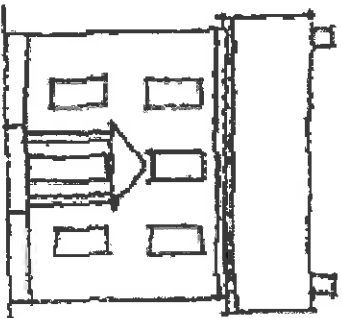
THE HEIGHT AND SCALE OF NEW BUILDINGS SHOULD BE
COMPATIBLE WITH THE HEIGHT AND SCALE OF NEIGHBORING
CONTRIBUTING STRUCTURES.

HEIGHT/SCALE





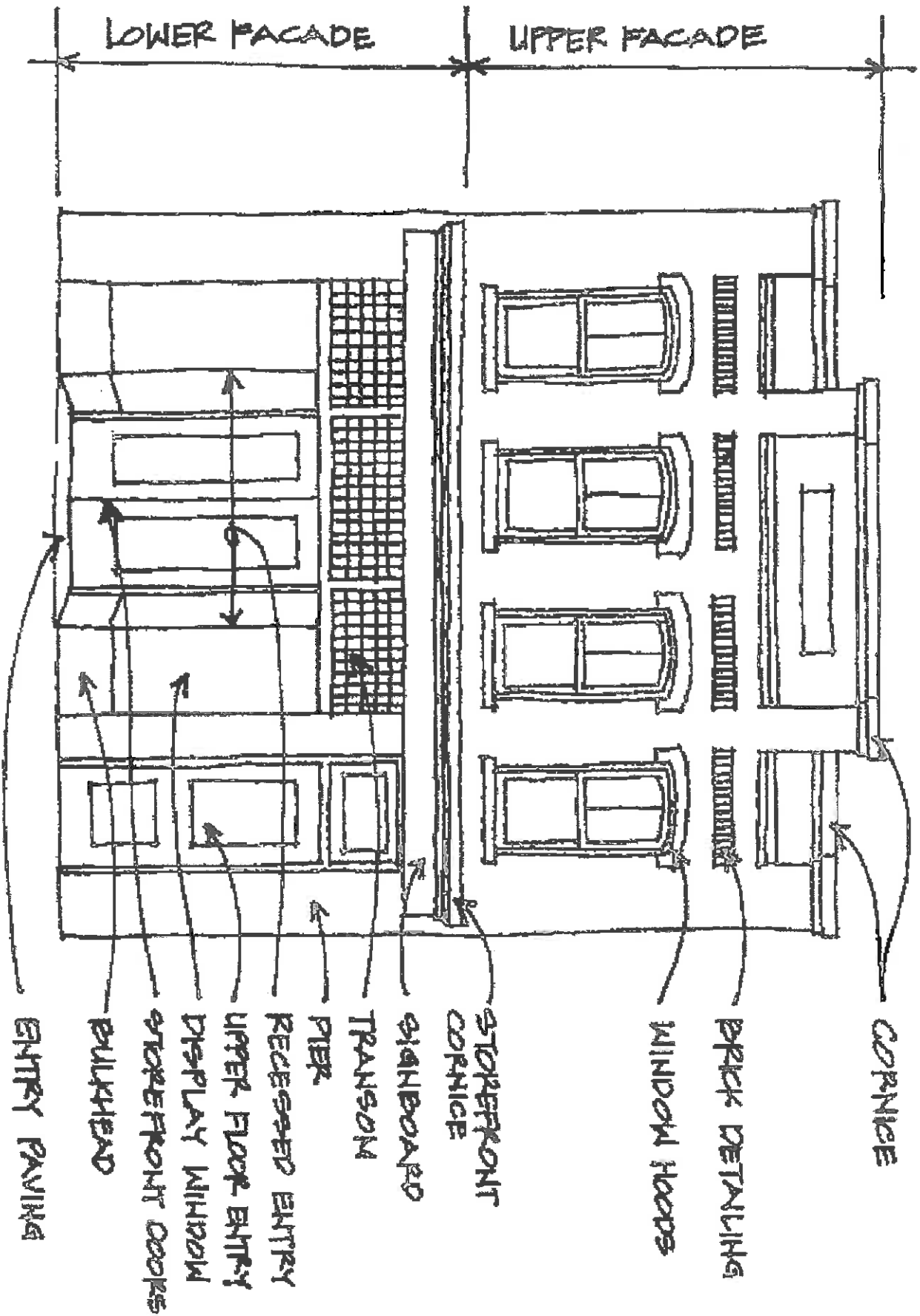
NO



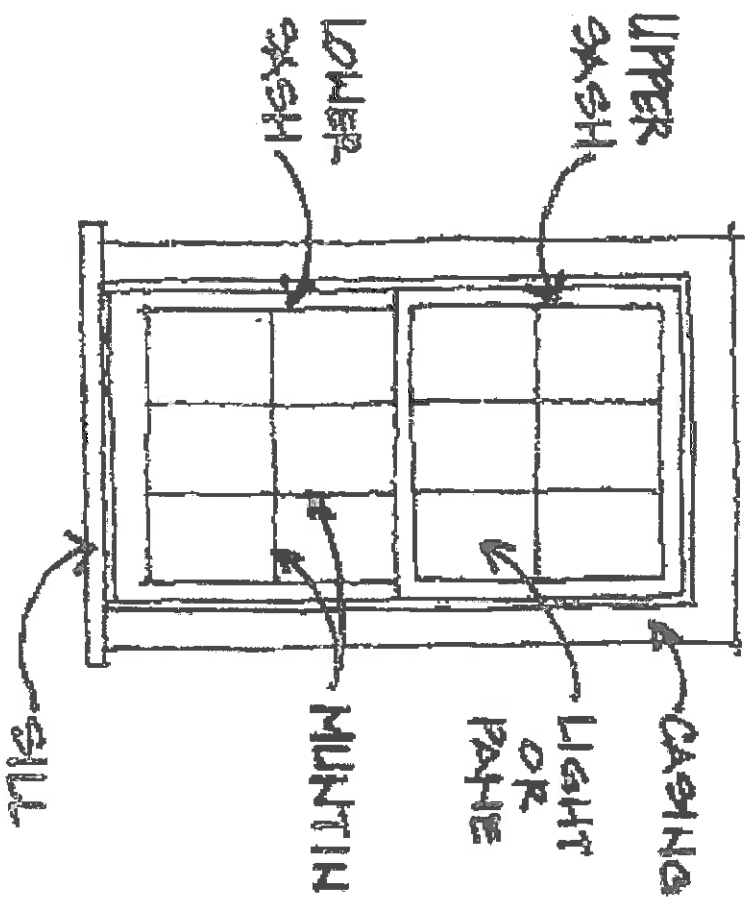
Yes

FENESTRATION

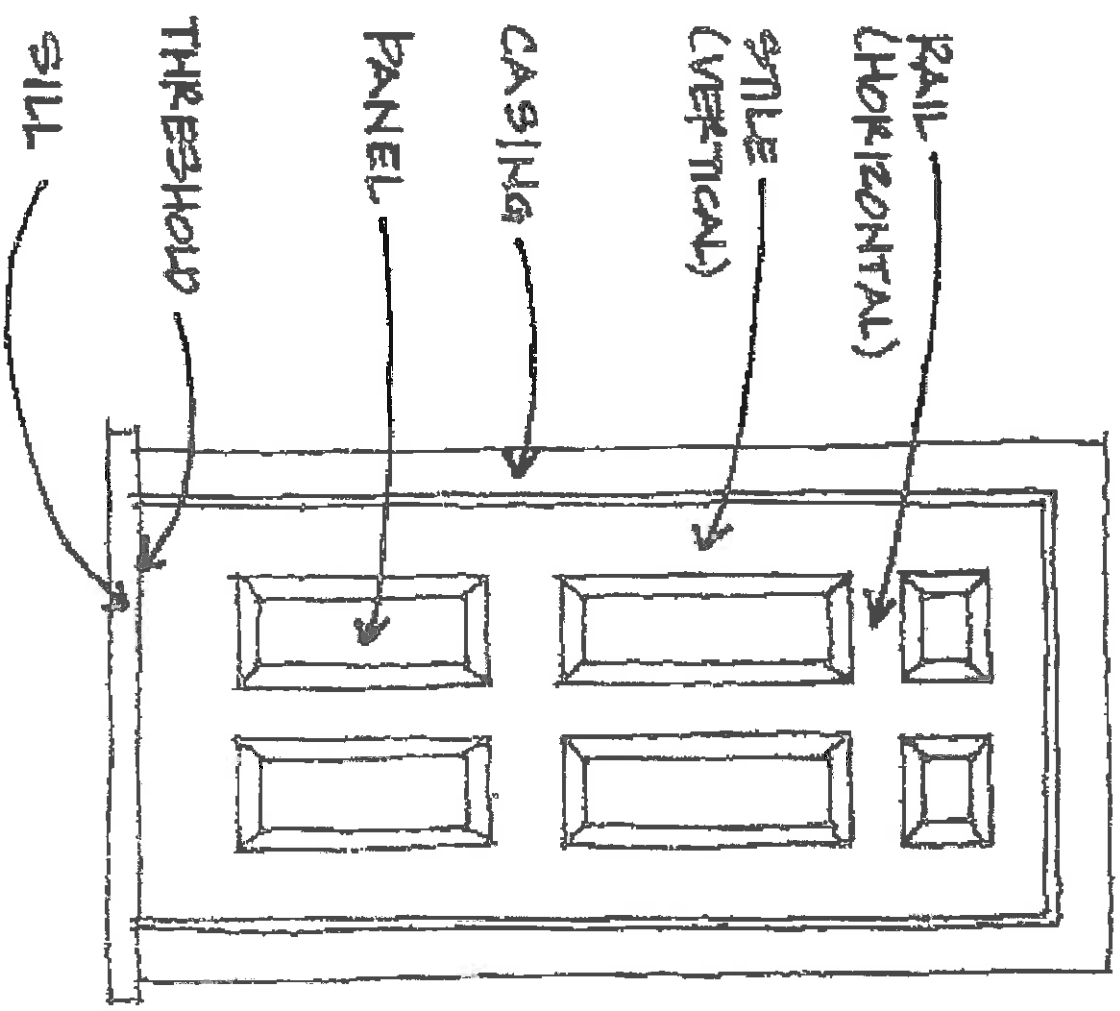
THE WINDOWS AND DOORS IN NEW BUILDINGS SHOULD BE COMPATIBLE IN SIZE, SHAPE, PROPORTION AND LOCATION WITH THOSE OF NEIGHBORING CONTRIBUTING STRUCTURES.



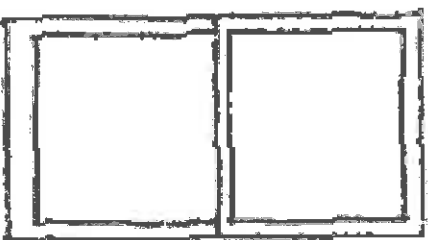
ELEMENTS OF A STOREFRONT FACADE



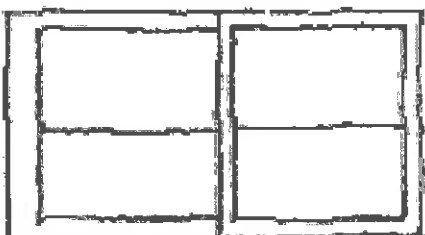
WINDOW TERMS



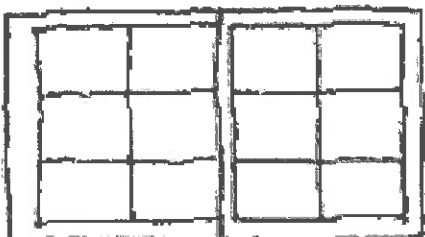
DOOR TERMS



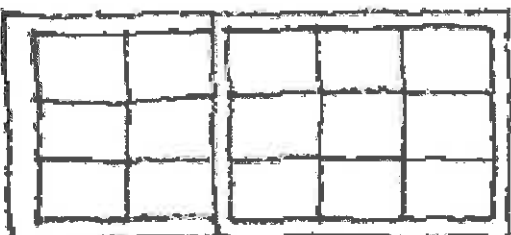
1/1



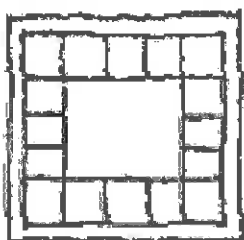
2/2



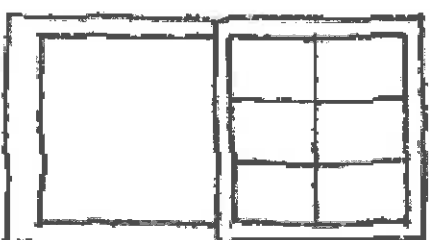
6/6



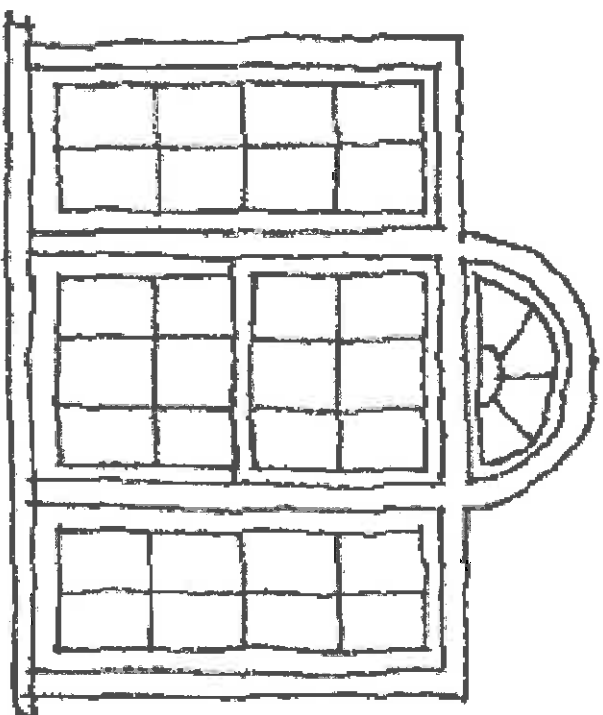
8/8



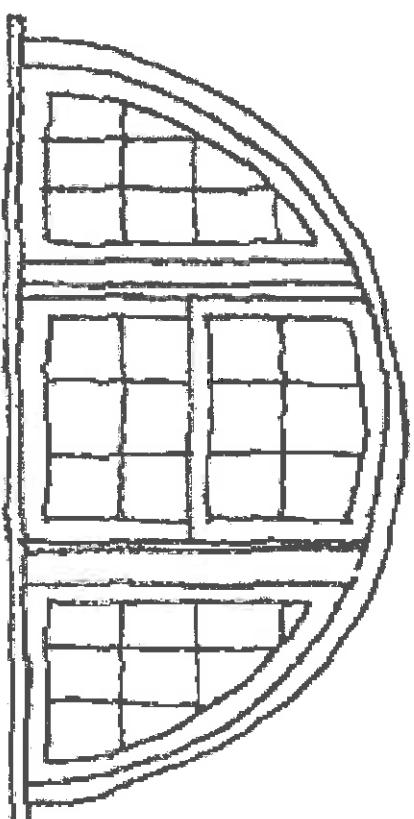
QUEEN
ANNE



6/1



PALLADIAN



NOCTLETIAN

WINDOW TYPES

MAINTENANCE AND REPAIR OF WOOD SHINGLES, CLAPBOARDS, AND OTHER WOOD SIDINGS

If a building's shingles, clapboards, and other wood sidings were previously painted or stained, a property owner routinely should have them repainted or re-stained. Gaps between boards or shingles need to be caulked. Cracks and splits in the exterior wood cladding should be repaired before repainting or re-staining. If deterioration is more extensive, remove damaged materials and replace in-kind by piecing-in new matching wood cladding. Only replace materials that cannot be repaired. Rarely does all the exterior cladding of a building need replacement. The infill replacement materials should be painted or stained to match the original.

Original exterior shingles, clapboards, or other siding covering the exterior walls of a building are character defining architectural features. Until the 20th century, Washington's frame buildings were typically covered with wood clapboards or shingles. These materials not only enclosed the buildings from the weather, but contributed to their historic architectural interest by providing texture, scale, proportion, color, and horizontal and vertical accents. Late 19th century frame buildings frequently mixed a number of different wood exterior cladding materials, including shingles of differing shapes installed in decorative patterns. With proper maintenance, historic wood cladding can last for centuries.

Since the mid 20th century some of Washington's historic buildings have been resurfaced with synthetic materials such as asbestos shingles, aluminum siding, and vinyl siding. These synthetic materials can significantly change a building's character and appearance, especially when they do not replicate the design features of the original cladding. While usually installed to reduce maintenance, replacement vinyl and aluminum sidings are not always maintenance free. These synthetic sidings can trap moisture within the buildings' walls and accelerate rot and decay. They can hide deterioration so that damage progresses to a serious condition before being noticed. Additionally, Vinyl and Aluminum may be toxic or emit toxic gas in the event of a fire. The below graphic demonstrates the recommended steps for the repair and maintenance of wood shingles, clapboards, and other wood sidings.



IDENTIFY, RETAIN AND PRESERVE

RECOMMENDED

Identifying, retaining, and preserving wood features that are important in defining the overall historic character of the building such as siding, cornices, brackets, window architraves, and doorway pediments; and their paints, finishes, and colors.



Whether it is used for exterior cladding, roofing, interior finishes, decorative features, or structural members, wood is frequently an essential component of historic and older buildings which should be retained and preserved. Photo: NPS files

NOT RECOMMENDED

- Altering wood features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.
- Replacing historic wood features instead of repairing or replacing only the deteriorated wood.
- Changing the type of paint or finish and its color.

STABILIZE

RECOMMENDED

- Stabilizing deteriorated or damaged wood as a preliminary measure, when necessary, prior to undertaking appropriate preservation work.

NOT RECOMMENDED

- Failing to stabilize deteriorated or damaged wood until additional work is undertaken, thus allowing further damage to occur to the historic building.

PROTECT AND MAINTAIN



Maximizing retention of historic materials and features is the primary goal of preservation, as demonstrated here in these before and after photographs. Aside from some minor repairs and limited replacement of deteriorated material, work on this house consisted primarily of repainting the wood exterior. Photos: Historic Charleston Foundation

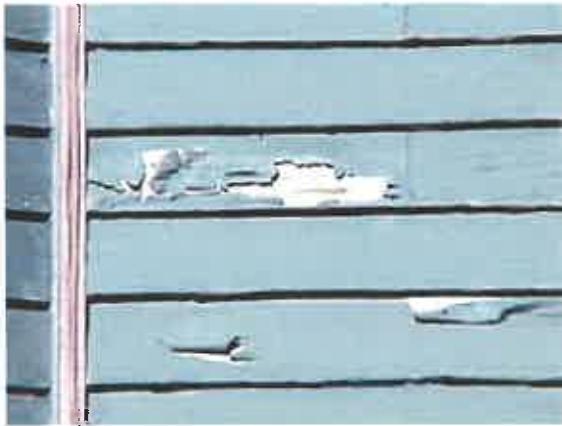
RECOMMENDED

- Protecting and maintaining wood features by providing proper drainage so that water is not allowed to stand on flat, horizontal surfaces or accumulate in decorative features.
- Applying chemical preservatives to wood features such as beam ends or outriggers that are exposed to decay hazards and are traditionally unpainted.
- Retaining coatings such as paint that help protect the wood from moisture and ultraviolet light. Paint removal should be considered only where there is paint surface deterioration and as part of an overall maintenance program which involves repainting or applying other appropriate protective coatings.
- Inspecting painted wood surfaces to determine whether repainting is necessary or if cleaning is all that is required.
- Removing damaged or deteriorated paint to the next sound layer using the gentlest method possible (handscraping and handsanding), then repainting.
- Using with care electric hot-air guns on decorative wood features and electric heat plates on flat wood surfaces when paint is so deteriorated that total removal is necessary prior to repainting.

- Using chemical strippers primarily to supplement other methods such as handscraping, handsanding and the above-recommended thermal devices. Detachable wooden elements such as shutters, doors, and columns may--with the proper safeguards--be chemically dip-stripped.
- Applying compatible paint coating systems following proper surface preparation.
- Evaluating the existing condition of the wood to determine whether more than protection and maintenance are required, that is, if repairs to wood features will be necessary.

NOT RECOMMENDED

- Failing to identify, evaluate, and treat the causes of wood deterioration, including faulty flashing, leaking gutters, cracks and holes in siding, deteriorated caulking in joints and seams, plant material growing too close to wood surfaces, or insect or fungus infestation.
- Using chemical preservatives such as creosote which, unless they were used historically, can change the appearance of wood features.



As shown, the paint on this house is failing in isolated spots, while most of it is in good condition. On older buildings heavy paint buildup is common. The thick paint film traps moisture in the wood. As the moisture escapes from the wood it pushes the paint off the wall, leaving spots of bare wood. Photo: © john leeke.

- Stripping paint or other coatings to reveal bare wood, thus exposing historically coated surfaces to the effects of accelerated weathering.
- Removing paint that is firmly adhering to, and thus, protecting wood surfaces.
- Using destructive paint removal methods such as propane or butane torches, sandblasting or waterblasting. These methods can irreversibly damage historic woodwork.
- Using thermal devices improperly so that the historic woodwork is scorched.
- Failing to neutralize the wood thoroughly after using chemicals so that new paint does not adhere.
- Allowing detachable wood features to soak too long in a caustic solution so that the wood grain is raised and the surface roughened.

- Failing to follow manufacturers' product and application instructions when repainting exterior woodwork. Using new colors that are inappropriate to the historic building or district.
- Failing to undertake adequate measures to assure the protection of wood features.

REPAIR

RECOMMENDED

- Repairing, stabilizing, and conserving fragile wood using well-tested consolidants, when appropriate. Repairs should be physically and visually compatible and identifiable upon close inspection for future research.
- Repairing wood features by patching, piecing-in, or otherwise reinforcing the wood using recognized preservation methods. The new work should be unobtrusively dated to guide future research and treatment.

NOT RECOMMENDED

- Removing wood that could be stabilized and conserved; or using untested consolidants and untrained personnel, thus causing further damage to fragile historic materials.
- Removing wood that could be repaired, using improper repair techniques, or failing to document the new work.

REPLACE IN KIND

RECOMMENDED

- Replacing in kind extensively deteriorated or missing parts of wood features when there are surviving prototypes such as brackets, molding, or sections of siding. New work should match the old in material, design, color, and texture; and be unobtrusively dated to guide future research and treatment.



An example of “limited replacement in kind” points out an appropriate scope of work within the treatment, preservation. Targeted repairs to deteriorated wood cornice elements (Fascia board and modillions) meant that most of the historic materials were retained in the work. Photo: NPS Files

NOT RECOMMENDED

- Replacing an entire wood feature such as a column or stairway when limited replacement of deteriorated and missing parts is appropriate.
- Using replacement material that does not match the historic wood feature; or failing to properly document the new work.

Reference:

These recommendations were adapted from the *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, published in 1992, were reviewed by a broad cross-section of government entities and private sector organizations. The 1995 *Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*, by Kay D. Weeks and Anne E. Grimmer, were developed in cooperation with the National Conference of State Historic Preservation Officers and reviewed by individual State Historic Preservation Offices nationwide. Stan Graves and Claire Adams are acknowledged, in particular, for their thoughtful evaluation of the new material. Dahlia Dandridge provided administrative support throughout the 1995 guidelines project. Finally, the published book was dedicated to H. Ward Jandl for his long-term commitment to the field of historic preservation.

http://www.nps.gov/hps/tps/standguide/preserve/preserve_wood.htm#repair

MINUTES

WASHINGTON HISTORIC PRESERVATION COMMISSION

Regular Scheduled Meeting – Minutes

Tuesday July 1, 2014

7:00 PM

Members Present

Ed Hodges Judi Hickson
Seth Shoneman Victoria Rader

Members Absent

Picott Harrington
Geraldine McKinley

Others Present

John Rodman, Director
Jennifer Brennan, Community Development Planner
Jessica Green, Administrative Support

I. Opening of the meeting

The Chairman called the meeting to order.

II. Invocation

A moment of silence was taken.

III. Roll Call

A silent roll call was taken by staff.

IV. Other Business

1. Residential grant program.

Jennifer Brennan came forward and presented some language that she asked the Commission to review, which will then be passed along to City Council. She explained that it will be presented to the Council as a memo asking them to consider taking a portion of the current commercial façade grant program and make it available to residential property owners. Ms. Brennan stated that in the current budget they have allocated \$20,000. She explained that they feel as though some of that money could be better used in a residential purpose. She stated that the memo would be going before the City Council at their next meeting and she will be sure to follow up with the Commission and let them know the outcome. Ms. Brennan then asked the Commission for their feedback on the language presented. Ed Hodges stated that he read the memo and felt

process of dispensing the grant money if the Council choses to move forward would work. She stated that she had discussed the possibility with John Rodman and they both feel the program would be beneficial as a need based program for property owners who can't currently afford to do work on their houses. She explained that the issue is how to determine the need base, so she would like to appoint a sub-committee with at least one Commission member, a member of City Council, and members of the community to formulate specific guidelines as to what would be covered under this program.

V. Major Works, Certificate of Appropriateness

A. Major Works

1. A request has been made by the owner of Moss Landing to begin construction on several houses.

Mr. Rodman explained that the Commission would just be reviewing this request tonight and will act on it at their August meeting. Jim Whiley, the developer of Moss Landing, and Mr. Rodman then presented a presentation showing the two purposed homes that would be located on lot 19 and 20 of the subdivision. Mr. Rodman also gave a brief preview of the entire Mossing Landing subdivision plate. Mr. Rodman explained that this area is zoned B1H, which allows residential and commercial activities within the same district. He explained that single family detached homes are a permitted use in this zoning district. Mr. Rodman also explained that the lots in this subdivision meet all setbacks and all dimensional standards. Mr. Rodman also stated that the front yard setbacks are consistent with the current homes located on Waters Street and other surrounding areas. Mr. Rodman then discussed the height of the homes in this subdivision and explained that they are consistent with the two-story homes in the area. Mr. Rodman then presented pictures of the homes and elevation drawings. He also pointed out specific design characteristics of the houses and the materials that will be used in the construction.

Mr. Whiley and Mr. Rodman then answered questions from the Commission and members of the audience.

2. A request has been made by the owner at 239 East Third Street to install a 6 foot wood privacy fence around the backyard.

Ms. Thalmann came forward and was sworn in. She explained her request to the Commission. She stated that she put up the fence because of her dogs. Ms. Thalmann stated that it is a 6ft cedar fence with a gate on the front and the side.

The Chairman opened the floor.

Judi Hickson made the following motion: I move that the Historic Preservation Commission grant a Certificate of Appropriateness to Ms. Thalmann to allow the already installed privacy fence around the rear of the property located at 239 East Third Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation

Commission Design Guidelines, specifically Section 4.6 Streetscape and Site Design – Fences and Walls. Her motion was seconded by Victoria Rader. All voted in favor and the motion carried.

3. A request has been made by the owner at 149 North Market Street to replace transom windows with new aluminum windows.

This item was continued due to the representative not being present.

4. A request has been made by the owner at 523 East Second Street to install a four foot wooden picket fence.

This item was continued due to the representative not being present.

5. A request has been made by the owner at 210 North Market Street to relocate a mechanical damper.

Christina Smith came forward and was sworn in. She explained the need to relocate the mechanical damper on the building.

The Chairman opened the floor. There being none coming forward the floor was closed.

Victoria Rader made the following motion: I move that the Historic Preservation Commission grant a Certificate of Appropriateness to Beaufort County to relocate a mechanical damper on the building at 210 North Market Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically Section 3.14 Existing Buildings – Mechanical and Communication Systems. Her motion was seconded by Judi Hickson. All voted in favor and the motion carried.

6. A request has been made by the owner at 227 East Second Street to demolish the rear addition and construct a new rear addition to include a porch and sunroom.

Mr. Ambrose Lewis came forward and was sworn in. He presented his plan for the demolition and addition of the porch and sunroom at the rear of the house.

The Chairman opened the floor. None came forward.

Victoria Rader made the following motion: I move that the Historic Preservation Commission grant a Certificate of Appropriateness to Mr. Lewis to remove the additions to the rear of the current as-constructed house that are undercover of the metal roof that slopes from North to South (rest of house has asphalt shingle roofing.) Construct a new addition on the same footprint as the additions that were demolished, including a new deck at the property located at 227 East Second Street. This motion is based on the following findings of fact: the application is congruous with the Historic Preservation Commission Design Guidelines, specifically Section 3.6 Changes to Existing Buildings. Judi Hickson seconded the motion. All voted in favor and the motion carried.

B. Minor Works

1. A request has been made by the owner at 502 East Second Street to replace the split HVAC system.
2. A request has been made by the First Christian Church to install handrails at the rear of 120 Academy Street.
3. A request has been made by the owner of 107 West Main Street to replace the condenser in the rear of the building.
4. A request has been made by the owner of 143 North Market Street to replace the present air conditioning unit in kind.
5. A request has been made by the owner of 225 East Main Street to change out the HVAC system in kind.
6. A request has been made by the City of Washington to remove a dead tree in the right of way at 735 West Main Street.
7. A request has been made by the owner of 328 West Main Street to change out the AC unit.
8. A request has been made by the owner of 412 West Main Street to change out the AC unit.
9. A request has been made by the owner of Moss landing to install temporary advertising signs at several locations on the property.

Seth Shoneman made a motion to approve all the minor works. His motion was seconded by Judi Hickson. All voted in favor and the motion carried.

VI. Approval of Minutes – June 3, 2014

Judi Hickson made a motion to approve the June 3rd minutes. Her motion was seconded by Seth Shoneman. All voted in favor and the motion carried.

VII. Adjourn

There being no other business Judi Hickson made a motion to adjourn. Seth Shoneman seconded the motion.